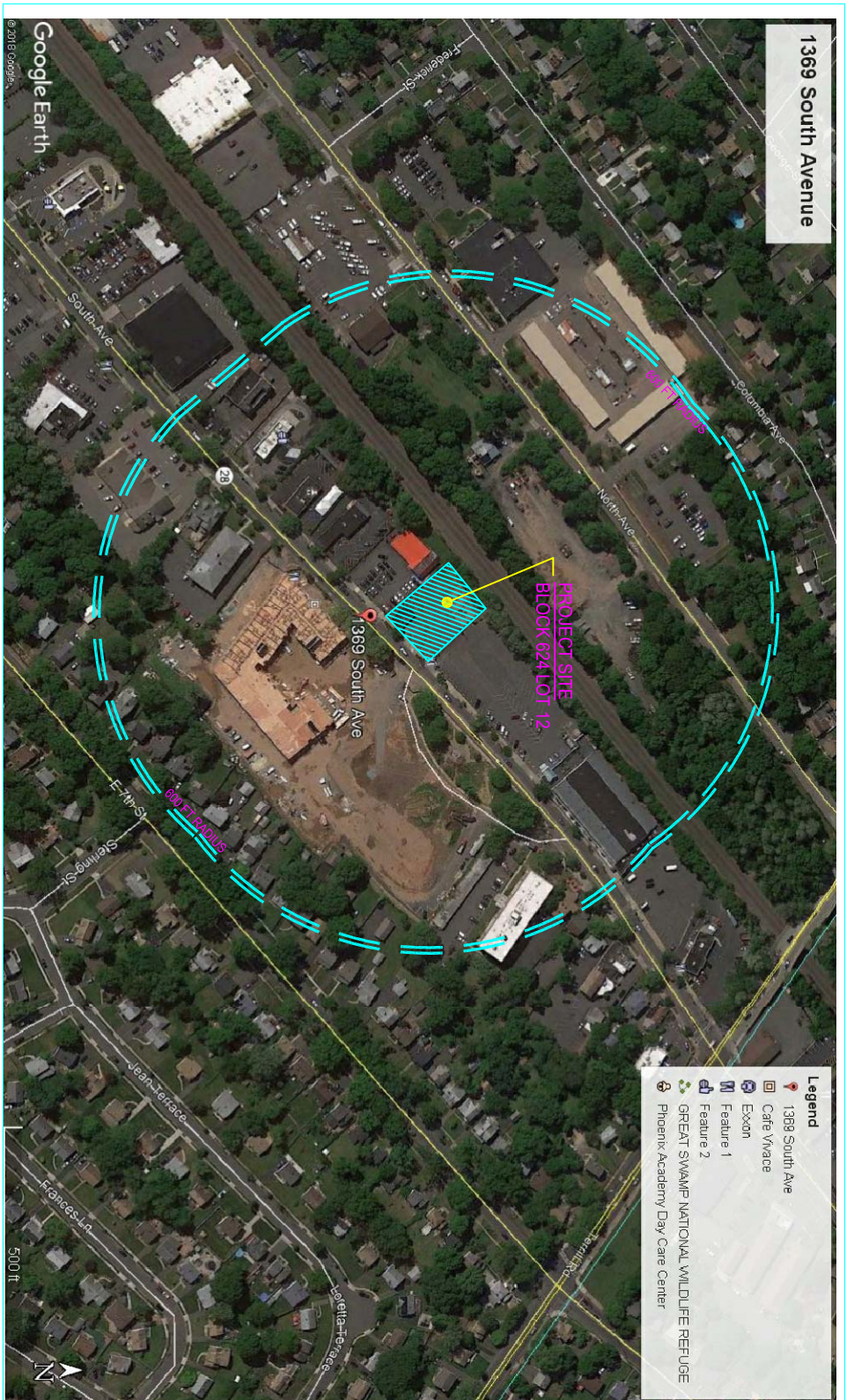


1369 SOUTH AVENUE PLAINFIELD, NEW JERSEY

ZONING INFORMATION

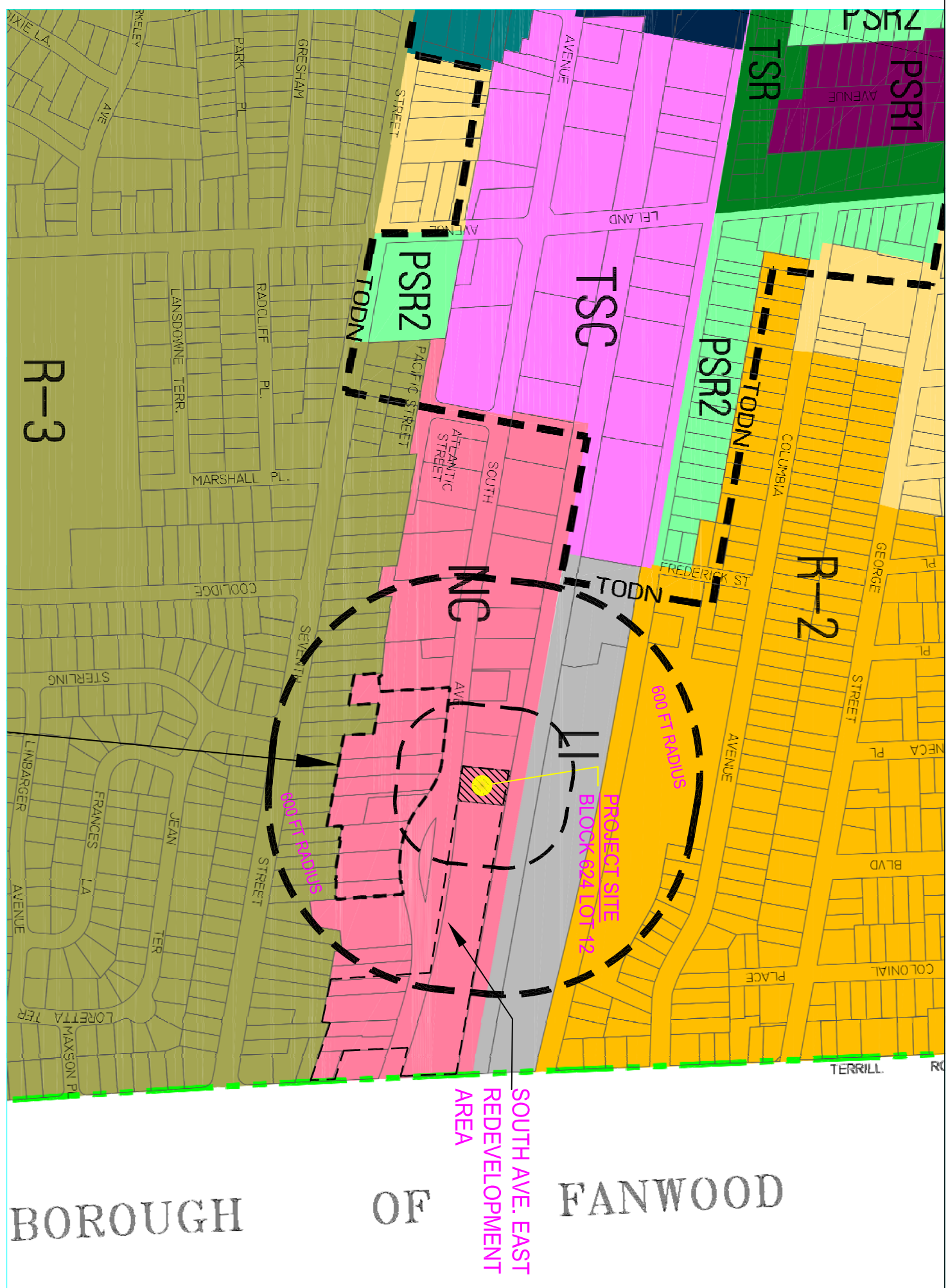
ZONE	EXISTING SOUTH AVENUE EAST REDEVELOPMENT PLAN (SAREP)	PROPOSED NO CHANGE	CODE COMPLIANCE	
			YES	NO
USE	EXISTING VACANT	PROPOSED MIXED USE		
MINIMUM LOT AREA (S.F.)	20,000	18,194		VARIANCE (MIN. 20,000 S.F.)
MAXIMUM DENSITY (d.u. per acre)	70	47.9		
MINIMUM LOT WIDTH (FT)	-	115.0		
MINIMUM LOT FRONTAGE (FT)	-	115.0		
MINIMUM LOT DEPTH (FT)	-	198.0		
FRONT YARD SETBACK MIN. (FT) MAX. (FT)	0 5.0	0 5.0		
SIDE YARD SETBACK (FT)	5.0	5.0		
SIDE YARD SETBACK (FT) (COMBINED)	20.0	52.0		
REAR YARD SETBACK (FT)	15.0	39.17		
MIN. SETBACK ACCESSORY STRUCTURE (FT)	3.0	3.0		
MAXIMUM FLOOR AREA RATIO	3.3	1.79		
MAXIMUM BUILDING COVER (%)	75.0	20.4		
MAXIMUM IMPERVIOUS COVER (%)	95.0	82.9		
MINIMUM NUMBER OF STORES	4	5		
MAXIMUM NUMBER OF STORES	6	5		
MAXIMUM BUILDING HEIGHT (FT)	65.0	62.6		
MINIMUM FIRST FLOOR HEIGHT (FT)	12.0	14.0		
MINIMUM COMMERCIAL SPACE % OF GROUND FLOOR	40.0	45.9 (1)		
MINIMUM RESTAURANT USE WITH MIXED USE % OF COMMERCIAL	15.0	*** (4)		VARIANCE
MINIMUM OPEN SPACE % OF PROPERTY	5.0	17.1 (2)		
MINIMUM BUFFER BETWEEN NEIGHBORING RESIDENTIAL PROPERTIES (FT)	5.0	N/A (3)		
MINIMUM APT. SIZE STUDIO (SF)	500	N/A		
MINIMUM APT. SIZE 1 BEDROOM (SF)	750	785		
MINIMUM APT. SIZE 2 BEDROOM (SF)	1000	1020		

- (1) 1st Floor commercial space 1,700 sf.
- (2) Ground level planted areas 3,110 sf.
- (3) There are no neighboring residential properties
- (4) Minimum area 225 sf.



1 KEY MAP
SCALE: 1"=400'

ZONING DISTRICTS	
R-1	VERY LOW DENSITY RESIDENTIAL
R-2	LOW DENSITY RESIDENTIAL
R-3	LOW/MODERATE DENSITY RESIDENTIAL
R-4	MODERATE DENSITY RESIDENTIAL
R-5	MEDIUM DENSITY RESIDENTIAL
R-6	MEDIUM/HIGH DENSITY RESIDENTIAL
R-7	HIGH DENSITY RESIDENTIAL
R-8	HIGH DENSITY RESIDENTIAL DEVELOPMENT
HISTORIC DISTRICTS	
R-WB1	VAN WYCK BRONS "T"
R-WB2	CRESSKAT AVENUE
R-WV1	PITMAN WYCKBOURG "T"
R-WV2	PITMAN WYCKBOURG "T"
R-4A	HELIXE AVENUE
R-8	BROADWAY
R-WH	WETTERWOOD HEIGHTS
CHD	CIVIC HISTORIC DISTRICT
CHND	NORTH AVENUE COMMERCIAL HISTORIC DISTRICT
CHND	CEDAR BROOK PARK HISTORIC DISTRICT
CHND	GREEN BROOK PARK HISTORIC DISTRICT
CHND	NEIGHBORHOOD COMMERCIAL
NC	PROFESSIONAL OFFICE 1
NC-1	PROFESSIONAL OFFICE 2
MI	MIXED USE
GC	GENERAL COMMERCIAL
LI	LEFT INDUSTRIAL
UI	UNSCATTERED REDEVELOPMENT SITES
TOWN ZONES	
TSA	TITAN STATION AREA ZONE
TSR	TITANIC RESIDENTIAL ZONE
TSC	TITANIC COMMERCIAL ZONE
PSR1	PARKSIDE RESIDENTIAL ZONE "T"
PSR2	PARKSIDE RESIDENTIAL ZONE "T"
PSR2	PROFESSIONAL OFFICE 2
TODD ZONES	
TSA	TOWNTOWN TITAN STATION AREA ZONE DISTRICT
CB	CENTRAL BUSINESS DISTRICT
CAO	CLEVELAND AVENUE ARTS DISTRICT
CD	COLLEGE DISTRICT
TD	TRANSITION DISTRICT
PD	PARKING DISTRICT



2 ZONING MAP
SCALE: 1"=400'

Owner/Applicant:
1369 South Plainfield, LLC
951 Madison Avenue
Lakewood, New Jersey 08701
Phone 848-250-4848

CHAIRMAN OF PLANNING BOARD
SECRETARY OF PLANNING BOARD
CITY ENGINEER



391 Littleton Avenue
Newark, New Jersey 07103
973 420 0666
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Maurice A. Brown
MAURICE A. BROWN, PE
NJ 24GE02991900
PA 028279
MD 40283

NJ CERTIFICATE OF AUTHORIZATION No. 24G0281891900
Consultant
Address
Phone
e-mail

PROPOSED MULTIFAMILY/RETAIL DEVELOPMENT

1369 South Avenue, Block 624, Lot 12
Plainfield, New Jersey

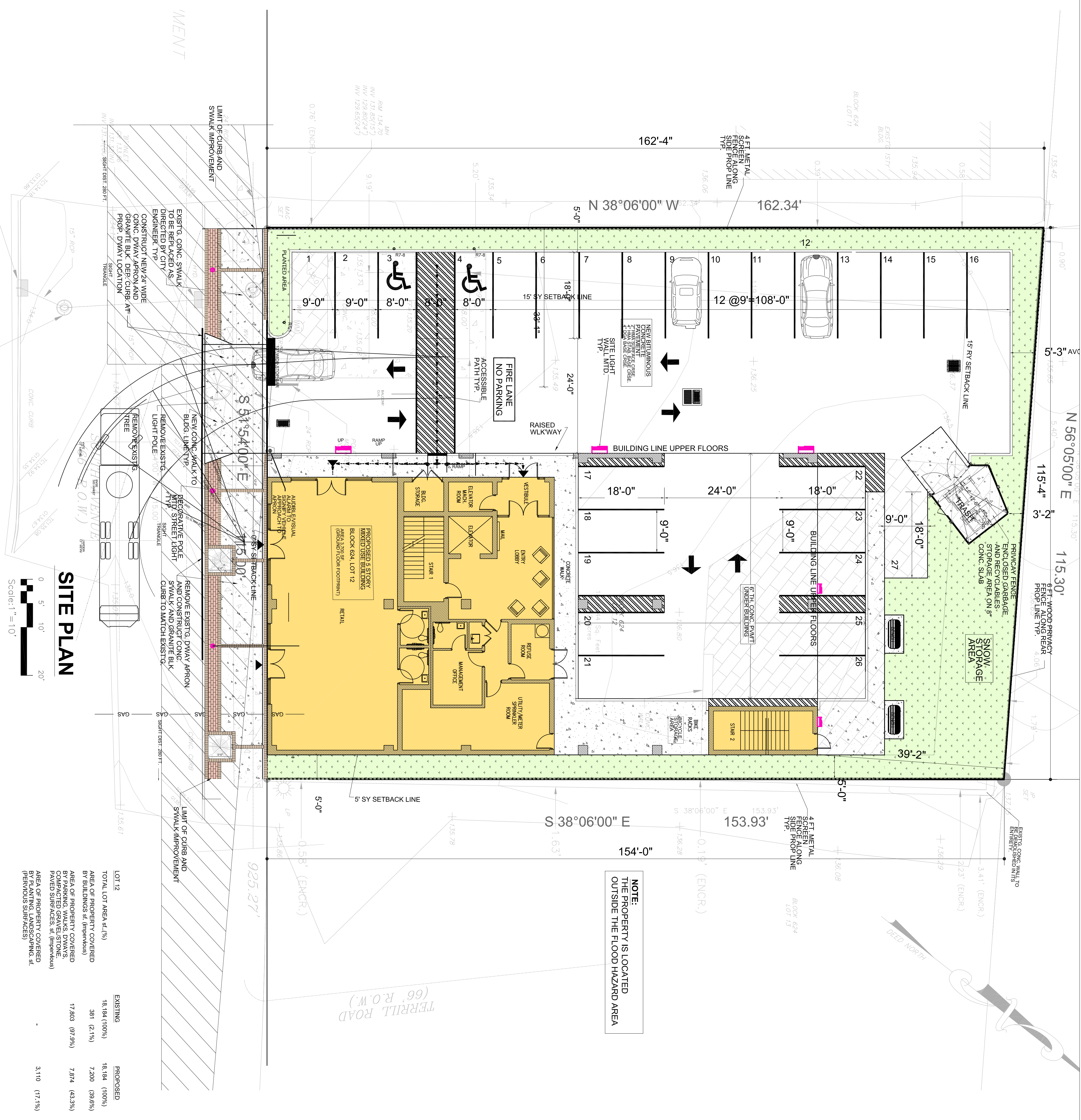
No.	Description	Date
1	Filed per Completeness Review comments	08/26/2019
2	Revised per Tech. Review Committee comments	12/16/2019
3	Revised Building Footprint and Site Layout	05/29/2020

ZONING DATA

Project number	2019.15
Date	May 28, 2019
Drawn by	Carp
Checked by	MAB

C-00.1

Scale: As Noted



NOTE:
 THE PROPERTY IS LOCATED
 OUTSIDE THE FLOOD HAZARD AREA

NOTES

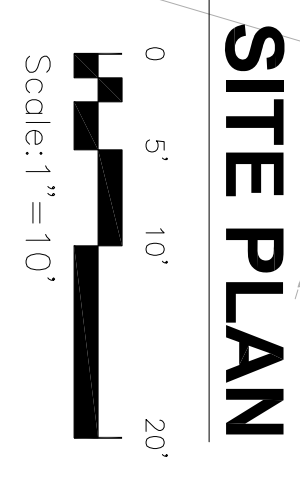
THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CONSTRUCTION STANDARDS AND SPECIFICATIONS ESTABLISHED BY THE CITY OF PLAINFIELD, AND ALL OTHER AGENCIES HAVING JURISDICTION.
 THESE SITE PLAN DOCUMENTS ARE BASED ON SURVEY INFORMATION OBTAINED FROM DRAWING ENTITLED "PLAN OF SURVEY WITH TOPOGRAPHY OF TAX MAP LOT 12 IN BLOCK 624 SITUATED IN CITY OF PLAINFIELD, UNION COUNTY, NEW JERSEY" - PREPARED BY VALLEE SURVEYING, INC., DATED 06/04/2015 REV. 07/08/2015

REFER TO DRAWING NO'S 06.0 THRU 06.3 FOR CONSTRUCTION DETAILS.
 CONTRACTOR SHALL REMOVE EXISTING ON-SITE IMPROVEMENTS AS SHOWN TO AND ALL OTHER ENCROACHMENT WHICH INTERFERE WITH THE NEW WORK TO BE ACCOMPLISHED.
 NEW IMPROVEMENTS SHALL BE CONSTRUCTED AS SHOWN ON PLANS.
 WHERE EXCAVATION IS TO BE DONE IN OR ADJACENT TO EXISTING PAVEMENT FOR WORK INCLUDED BUT NOT LIMITED TO THE CONSTRUCTION OF NEW PAVEMENT AND THE INSTALLATION OF UNDERGROUND UTILITIES, CONTRACTOR SHALL SAW CUT ALONG THE AREAS TO BE DISTURBED, SAW CUT SHALL BE PERFORMED AT A DEPTH SUFFICIENT TO ALLOW THE COMPLETE REMOVAL OF THE BITUMINOUS PAVEMENT MATERIAL WITHOUT DAMAGE TO ADJACENT AREAS.
 THE LOCATION, SIZES AND TYPES OF THE UNDERGROUND UTILITIES SHOWN ON THESE DRAWINGS HAVE BEEN OBTAINED FROM AVAILABLE RECORDS, AND FROM NORMAL SURVEYING PRACTICES. THE ACCURACY OF THIS INFORMATION IS NEITHER GUARANTEED OR IMPLIED. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF ANY EXCAVATION.
 ALL PROPOSED DRAINAGE WORK SHALL BE IN CONFORMANCE WITH THE MOST RECENT STANDARDS OF THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION (NJDEP-EI).
 ALL EXISTING CASTINGS WITHIN THE PROJECT LIMIT TO REMAIN SHALL BE ADJUSTED AS NECESSARY, SO THAT THEY WILL BE FLUSH WITH THE FINISHED GRADE AFTER COMPLETION OF WORK.
 ANY DAMAGE TO UTILITIES, INCLUDING BUT NOT LIMITED TO MANHOLES, CASTINGS, LINES, CAUSED BY THE CONTRACTOR'S WORK SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE PROJECT.
 ALL GAS AND ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNALING CODE (NFPA) AS ADOPTED AND ENFORCED BY THE PUBLIC SERVICE ELECTRIC AND GAS COMPANY (PSE&G), NEW JERSEY, AND THE ENGINEER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINAL SITE CLEANING, CLEANING SHALL BE PERFORMED TO THE SATISFACTION OF THE OWNER. TOP OF CURB ELEVATION IS 6 INCHES ABOVE BOT. OF CURB ELEVATION SHOWN ON DRAWINGS TYPE.
 THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR/RESTORE ALL CONDITIONS OF DAMAGE IN THE PUBLIC RIGHT OF WAY RESULTING FROM WORK UNDER THIS PROJECT. ALL REPAIRS/TORNAKIN SHALL BE OF EQUAL OR GREATER STANDARD.
 WHERE VEHICULAR TRAFFIC CROSSES SIDEWALK CONSTRUCT SIDEWALK SECTION IN ACCORDANCE WITH CONCRETE APRON DETAIL.

EXISTING	PROPOSED
PROJECT BOUNDARY LINE	PROJECT BOUNDARY LINE
STREET R.O.W. LINE	STREET R.O.W. LINE
OVERHEAD WIRES	OVERHEAD WIRES
CURB LINE	CURB LINE
DROP CURB	DROP CURB
MANHOLE	MANHOLE
WATER VALVE INLET	WATER VALVE INLET
GAS VALVE	GAS VALVE
FIRE HYDRANT	FIRE HYDRANT
SIGN POST	SIGN POST
UTILITY POLE	UTILITY POLE
SPOT ELEVATION	SPOT ELEVATION
EXISTING CONTOUR LINE	EXISTING CONTOUR LINE
TREE (FREE DIAMETER)	TREE (FREE DIAMETER)
DIRECTION OF SEWER FLOW	DIRECTION OF SEWER FLOW
FENCE	FENCE
TOP OF CURB	TOP OF CURB
BOTTOM OF CURB	BOTTOM OF CURB
PUBLIC SERVICE MH	PUBLIC SERVICE MH
UTILITY WIRE	UTILITY WIRE
TAX LOT NUMBER	TAX LOT NUMBER
WATER	WATER
GAS	GAS
SANITARY	SANITARY
STORM	STORM

LOT 12	EXISTING	PROPOSED
TOTAL LOT AREA (sq. ft.)	18,194 (100%)	18,194 (100%)
AREA OF PROPERTY COVERED BY BUILDINGS (sq. ft.)	381 (2.1%)	7,200 (39.6%)
AREA OF PROPERTY COVERED BY PARKING, WALKS, DWAYS, PAVED SURFACES (sq. ft.)	17,803 (97.9%)	7,674 (43.3%)
AREA OF PROPERTY COVERED BY PLANTING, LANDSCAPING, ST. PERVIOUS SURFACES)		3,110 (17.1%)



PROPOSED MULTIFAMILY/RETAIL DEVELOPMENT
 1369 South Avenue, Block 624, Lot 12
 Plainfield, New Jersey

MAURICE A. BROWN, PE
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 PA 052770
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391 Littleton Avenue
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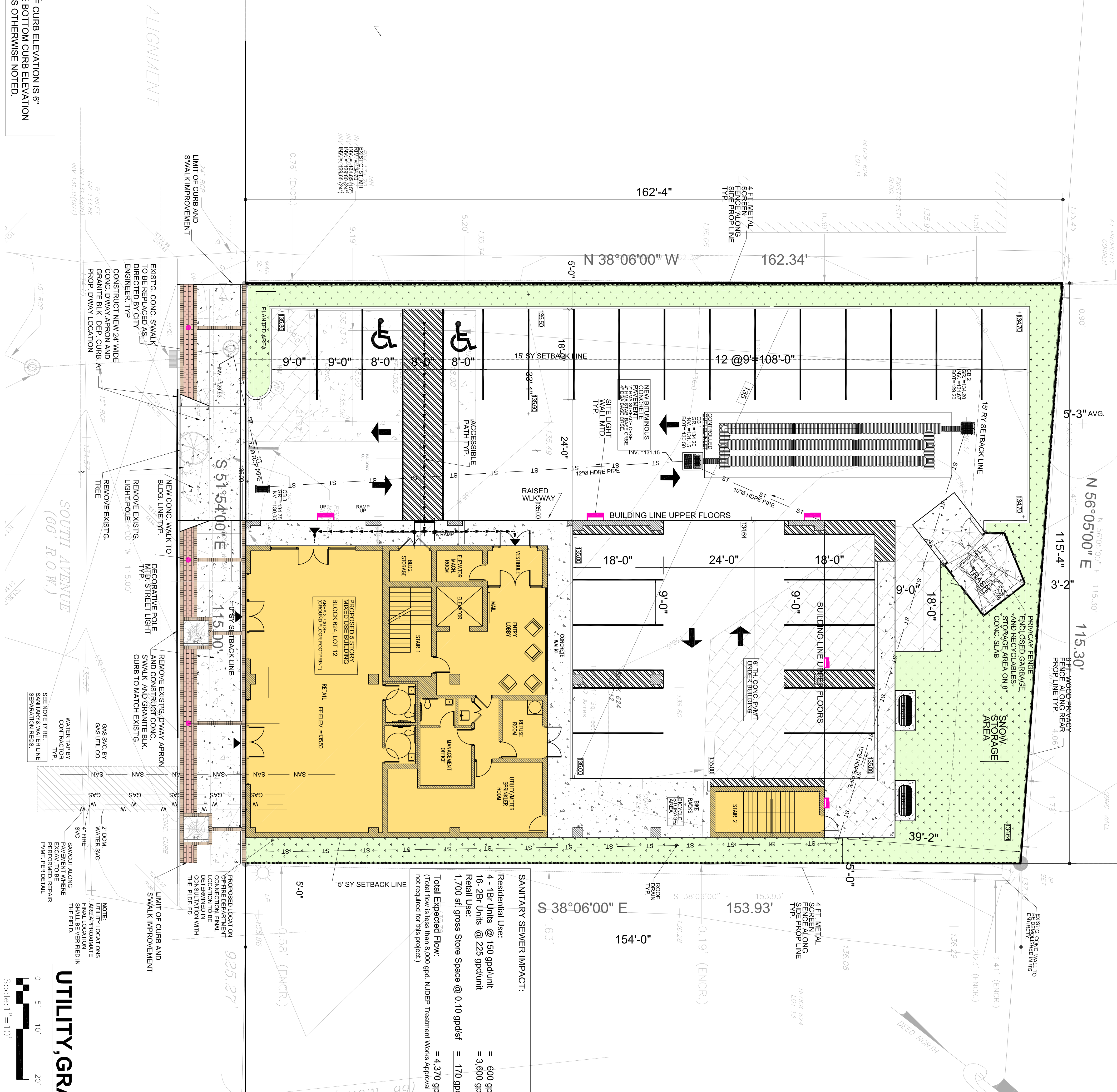
C-EM URBAN
 Consulting Engineers

No.	Description	Date
1	Revised Per Compliances Review comments	09/26/2019
2	Revised Per Tech. Review Committee comments	12/16/2019
3	Revised Building Footprint and Site Layout	05/26/2020

SITE PLAN
 2019.15
 May 28, 2019
 Drawn by: Carp
 Checked by: MAB

As Noted

NOTE:
 TOP OF CURB ELEVATION IS 6"
 ABOVE BOTTOM CURB ELEVATION
 UNLESS OTHERWISE NOTED.



UTILITY, GRADING AND DRAINAGE PLAN

Scale: 1" = 10'

SANITARY SEWER IMPACT:

Residential Use:	4 - 1br Units @ 150 gpd/unit	= 600 gpd
	16 - 2br Units @ 225 gpd/unit	= 3,600 gpd
Retail Use:	1,700 sq gross Store Space @ 0.10 gpd/sf	= 170 gpd
		= 4,370 gpd
Total Expected Flow: (Total flow is less than 8,000 gpd. Under Treatment Works Approval is not required for this project.)		

- UTILITY CONSTRUCTION NOTES**
- THESE SITE PLAN DOCUMENTS ARE BASED ON SURVEY INFORMATION OBTAINED FROM DRAWINGS ENTITLED "SURVEY OF 666 SOUTH AVENUE, BLOCK 624, LOT 12, PLAINFIELD, NEW JERSEY" PREPARED BY VALLEE SURVEYING, INC. (DATED 08/04/2015 REV. 07/08/2015)
 - ALL ELEVATIONS AND CONOURS ARE BASED ON MVD 1988.
 - ATTENTION TO THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM SEWERS, POTABLE WATER LINES AND APPURTENANCES, NATURAL GAS LINES, ELECTRIC, TELEPHONE AND CABLE LINES AND UNDERGROUND STORAGE TANKS THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION OF THESE UTILITIES OR OTHER CONSTRUCTION OBSTACLES PRIOR TO CONSTRUCTION. SEE ALSO THE ENGINEER'S FIELD NOTES FOR THE PROJECT DESIGN.
 - CONTRACTOR TO REPERFORM TEST PITS TO VERIFY EXISTING UTILITY DEPTHS, SIZES AND LOCATIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS SO THAT DESIGN MODIFICATIONS CAN BE MADE IF NECESSARY.
 - ALL CONSTRUCTION SHALL CONFORM WITH ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY AND TO CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO CONSTRUCTION.
 - ALL CONSTRUCTION IN ROADWAYS SHALL CONFORM TO THE CITY OF ORANGE TOWNSHIP CONSTRUCTION GUIDELINES FOR STREET OPENINGS AND STANDARDS FOR ROADWAY CONSTRUCTION, LATEST EDITION.
 - PIPE LENGTHS INDICATED ARE MEASURED CENTER TO CENTER OF EACH STRUCTURE.
 - PROPOSED BUILDINGS SHALL BE SERVED BY EXISTING POTABLE WATER FROM NEW JERSEY AMERICAN WATER COMPANY AND SANITARY SEWER FROM THE CITY OF ORANGE TOWNSHIP AVAILABLE FROM THE ADJACENT STREETS.
 - ALL STORM DRAINAGE TO BE CLEANED AND TESTED PRIOR TO ISSUANCE OF CERTIFICATES OF OCCUPANCY. ALL SANITARY SEWER MAINS, SEWER LATERALS, AND APPURTENANCES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH CITY OF ORANGE TOWNSHIP AND NJDEP REQUIREMENTS.
 - SHOP DRAWINGS AND PRODUCT CATALOGS INFORMATION FOR ALL WATER, SANITARY SEWER AND STORM SEWER STRUCTURES, CONDUITS, MATERIALS, AND APPURTENANCES TO BE PROVIDED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASING.
 - ANY DAMAGE CAUSED TO THE SANITARY SEWER SYSTEM AS A RESULT OF CONSTRUCTION ACTIVITIES TO BE DETERMINED BY THE AUTHORITY SHALL BE REPAIRED BY THE CONTRACTOR AT THE COST OF THE CONTRACTOR AND TO THE AUTHORITY'S SATISFACTION. PRIOR TO ACCEPTANCE, AS-BUILT PLANS FOR THE SANITARY SEWER SYSTEM SHALL BE SUBMITTED AND APPROVED.
 - PRIOR TO ACCEPTANCE, THE SANITARY SEWER SYSTEM SHALL BE TESTED IN ACCORDANCE WITH CITY OF ORANGE TOWNSHIP RULES AND REGULATIONS, AND WITNESSED AND APPROVED BY THE AUTHORITY ENGINEER.
 - REFER TO TECHNICAL SPECIFICATIONS FOR WATER AND SANITARY SEWER FOR MATERIAL, INSTALLATION SPECIFICATIONS AND TESTING REQUIREMENTS.
 - ALL WATER SERVICES, LINES AND APPURTENANCES SHALL BE CONSTRUCTED, TESTED AND DISINFECTED IN ACCORDANCE WITH NEW JERSEY AMERICAN WATER COMPANY AND NJDEP REQUIREMENTS.
 - ALL WATER SERVICES TO BE INSTALLED IN CONFORMANCE WITH THE REQUIREMENTS OF THE PLUMBING SUBCODE PROMULGATED BY THE NEW JERSEY DEPARTMENT OF COMMUNITY AFFAIRS PURSUANT TO THE STATE UNIFORM CONSTRUCTION CODE ACT (N.J.A.C. 52:23.15).
 - ALL NEW WATER SERVICES SHALL BE INSTALLED WITH A MINIMUM OF 4 FEET OF COVER OVER THE PIPE TO PREVENT FREEZING.
 - IN ACCORDANCE WITH N.J.A.C. 7:10-11.10(5), ALL WATER MAINS AND SANITARY SEWER LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP MAMM/TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH OTHER SEPARATION EXPRESSLY APPROVED BY THE NJDEP. AT CROSSINGS OF SEWER LINES AND WATER MAINS, THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. THE SEWER LINE SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATER TIGHT CONSTRUCTION (DUCTILE IRON) WITH WATER TIGHT JOINTS THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN.
 - UNLESS OTHERWISE INDICATED, SANITARY SERVICE LINES SHALL BE TYPE "K" COPPER. SANITARY SEWER MAINS SHALL BE PVC SDR-35. HOPE PIPES SHALL BE ADS N-12 WITH SOIL TIGHT JOINTS OR APPROVED EQUAL. STORM SEWER PVC PIPES SHALL BE SCHEDULE 80 WITHIN PAVED AREAS AND SCHEDULE 40 IN LANDSCAPED AREAS, UNLESS OTHERWISE NOTED.
 - A MARKER STAKE PROTRUDING A MINIMUM OF FOUR FEET ABOVE THE GROUND SURFACE SHALL BE PLACED TO INDICATE THE END OF THE CONSTRUCTION STOPS FOR BUILDING CONNECTIONS, OR STUBS SHALL BE TURNED AND EXTENDED ABOVE GRADE BY FOUR FEET AND CAPPED.
 - BUILDING ROOF LEADERS AND CLEAR WASTE FROM BUILDING TO CONNECT TO SITE STORM SEWER SYSTEM.
 - ELECTRICAL, TELEPHONE, CABLE AND ALL OTHER WIRE-SERVED UTILITY EXTENSIONS AND SERVICES SHALL BE INSTALLED UNDERGROUND WITH STANDARDS ESTABLISHED BY THE SERVING UTILITY COMPANY.
 - GAS AND ELECTRICAL SERVICE CONDUITS AND STRUCTURES MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND PROVIDED DESIGN BY PSE&K. THE CONTRACTOR MUST PROVIDE RECORD "AS BUILT" PLANS OF ALL CONDUITS AND STRUCTURES TO PSE&K PROJECT ENGINEER AND THE PROJECT OWNER.
 - TELEPHONE AND CABLE SERVICE CONDUIT AND STRUCTURES MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF VERIZON AND COMCAST. THE CONTRACTOR MUST PROVIDE RECORD "AS BUILT" PLANS OF ALL CONDUITS AND STRUCTURES TO VERIZON, COMCAST, PROJECT ENGINEER AND PROJECT OWNER.
 - CONTRACTOR SHALL MAINTAIN FIELD NOTES, PHOTOGRAPHS, AND RECORD PLANS CLEARLY RECORDING THE LOCATION OF ALL UNDERGROUND INSTALLATIONS. THESE RECORDS SHALL BE PROVIDED TO THE ENGINEER UPON REQUEST.
 - ALL UTILITY METERS AND EQUIPMENT SHALL BE LOCATED INSIDE THE BUILDING.

PROPOSED MULTIFAMILY/RETAIL DEVELOPMENT
 1369 South Avenue, Block 624, Lot 12
 Plainfield, New Jersey

CEM URBAN, LLC
 Consulting Engineers

391 Littleton Avenue
 Newark, New Jersey 07103
 973 420 0666
 973 624 9045 Fax

MAURICE A. BROWN, PE
 NJ 24602991900
 PA 08270
 MD 40283

NJ CERTIFICATE OF AUTHORIZATION NO. 24GA281691100

Consultant
 Address
 Phone
 E-mail

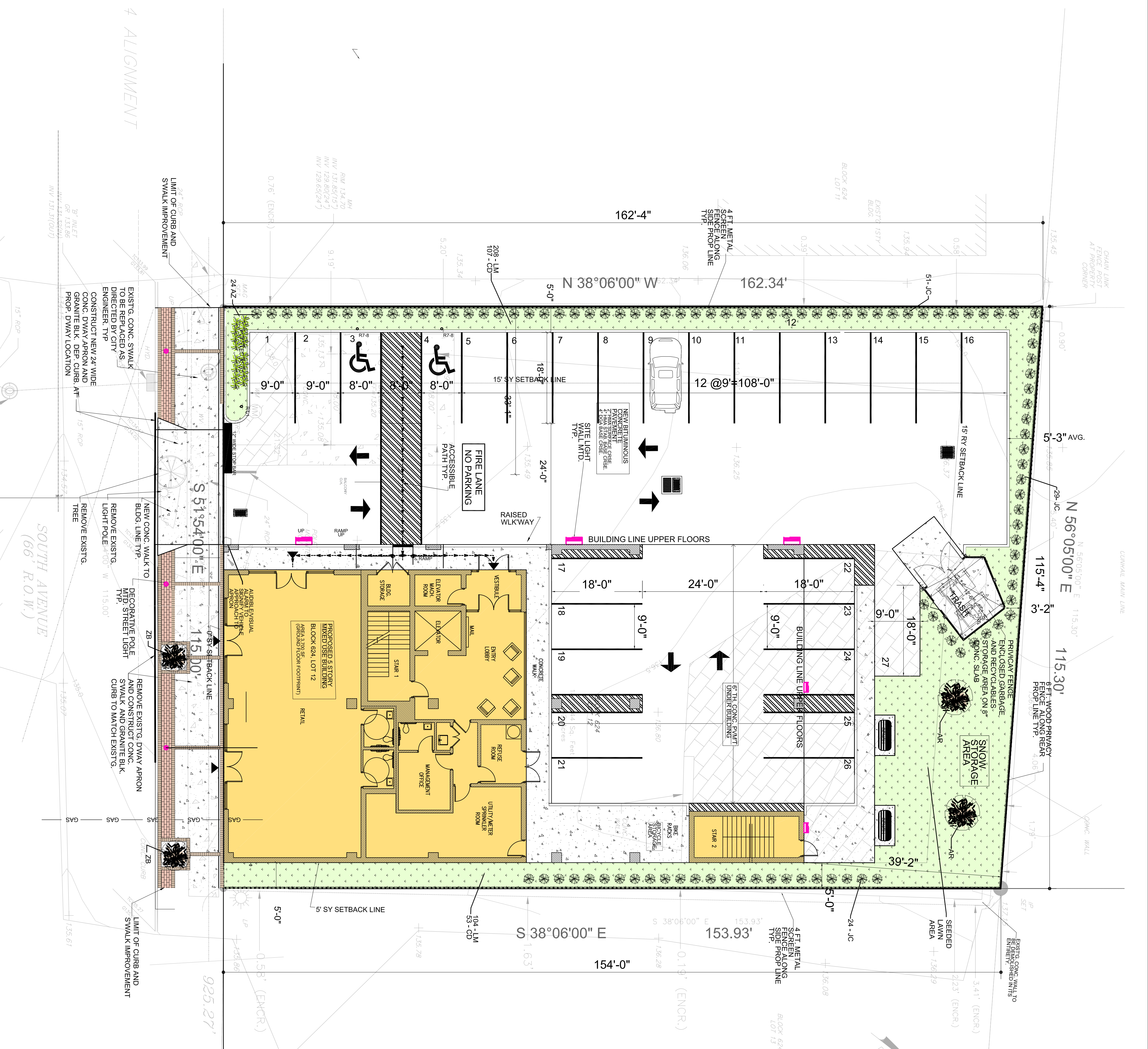
No.	Description	Date
1	Revised Per Competencies Review comments	09/26/2019
2	Revised Per Tech. Review Committee comments	12/16/2019
3	Revised Building Footprint and Site Layout	05/26/2020

UTILITY, GRADING AND DRAINAGE PLAN

Project number: 2019.15
 Date: May 28, 2019
 Drawn by: Carp
 Checked by: MAB

C-2.0

Scale: As Noted



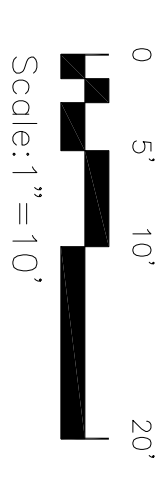
LANDSCAPING NOTES

1. THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES THROUGH CONSTRUCTION/INSTALLATION IN ACCORDANCE WITH ACCEPTED STANDARDS AND PRACTICES OF THE ASSOCIATION OF NURSERIES, INC. AND AS SHOWN ON THE DRAWINGS.
2. THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES PRIOR TO INSTALLATION.
3. THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL PLANT MATERIAL INCLUDING GROUNDCOVER OR SEED AS CALLED FOR ON THE PLAN. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PLANTING OF ALL MATERIAL. THE PLACEMENT OF BARK MULCH OR STONE MULCH, THE STAKING AND GUYING OF TREES, AND THE PROTECTION OF ALL PLANT MATERIAL UPON ARRIVAL AT THE SITE.
4. THE CONTRACTOR SHALL APPLY ALL REQUIRED MEASURES AND TREATMENT TO INSURE THE OPPORTUNITY FOR PLANT SURVIVAL AFTER INITIAL PLANTING, INCLUDING IRRIGATION OF PLANTED AREAS.
5. UNLESS NOTED OTHERWISE ON THE PLAN OR WITHIN THESE NOTES, THE CONTRACTOR SHALL FURNISH AND INSTALL A 3 INCH MINIMUM LIGHTLY COMPACTED LAYER OF SHREDDED HARDWOOD BARK MULCH WITHIN THE AREAS AS REQUIRED BY THESE DRAWINGS.
6. ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER AND/OR THE OWNER PRIOR TO INSTALLATION.
7. TREATMENT OF GALLED AND BURRAPPED PLANT MATERIAL:
 - NATURAL BRONN BURRAP - DEBRIS IN THE GROUND, LOOSEN TOP ONE THIRD OF BURRAP AND TUCK IT DOWN THE SIDES.
 - GREEN BURRAP - TREATED; EXTREMELY SLOW DEGRADING; REMOVE COMPLETELY ONCE PLANT IS SET IN HOLE.
 - GREEN POLYETHYLENE (GALPHAST) - NOT A BURE PLANT IS SET IN HOLE; REMOVE COMPLETELY ONCE PLANT WIRE BASKETS - REMOVE COMPLETELY ONCE PLANT IS SET IN HOLE.
8. REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS SUCH AS TREE ROOTS, PIECES OF CONCRETE, LUMPS, CLODS AND/OR OTHER UNSUITABLE MATERIAL.
9. ALL PLANTING AREAS SHALL BE FREE OF UNSUITABLE BACKFILL SUCH AS DEBRIS, DELETERIOUS URBAN MATERIAL, BRICKS, RUBBLER, SEEDS AND THE BACKFILL MIXTURES FOR SHRUB BEDS AND GROUNDCOVER BEDS SHALL CONSIST OF 3 PARTS TOPSOIL AND 1 PART ORGANIC MATTER SUCH AS "EARTHLEAF COMPOST" OR PLAT

PLANT LIST

SYMBOL	KEY	QUANTITY	BOTANICAL NAME (Common Name)	HEIGHT	SPREAD	CULTURE	ROOT	REMARKS
AR		2	Acer rubrum 'October Glory' (October Glory Red Maple)	8'-10"	6'-8"	T-2 1/2"	B & B	Symmetrical head, Straight trunk, Maturing specimen.
ZB		2	Zelkova serrata 'Tozenense' (Greenoak Japanese Zelkova)	8'-10"	6'-8"	T-2 1/2"	B & B	Maturing specimen.
SHRUBS								
AZ		24	Aspid. anthurus (Emergen hydrants)	2-2 1/2 ft			No. 3 Can	
JC		104	Juniperus chinensis columnaris (Green Columnar Chinese Juniper)	4'-5'			B & B 4" OC	
ERODGREEN GROUNDCOVER								
LM		313	Urtica dioica (Lily Turf)				2 1/4" Pat	1 year Field Crown, Plant 1" O.C.
CD		160	Cotoneaster dammeri (Coral Cotoneaster)				2 1/4" Pat	1 year Field Crown, Runners Wk. 9"-12", 1B" O.C.

LANDSCAPING PLAN



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 Plainfield, New Jersey

C:EM URBAN, LLC
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 NJ 246029919900
 PA 052719
 MD 40283

Consulant
 Address
 Phone
 Fax
 E-mail

NJ CERTIFICATE OF AUTHORIZATION No. 246A281691100

No.	Description	Date
1	Revised Per Completeness Review comments	09/26/2019
2	Revised Per Tech. Review Committee comments	12/16/2019
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LANDSCAPING PLAN

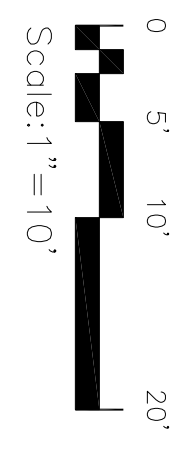
Project number: 2019.15
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 Checked by: MAB

C-3.0

Scale: As Noted



LIGHTING PLAN



NOTE:
 SEE DWG C4.1 FOR LIGHTING NOTES
 AND DETAILS

NOTE:
 LUMINAIRES ADJACENT TO PROPERTY LINES
 SHALL BE SHIELDED TO PREVENT LIGHT
 SPILLOVER TO ADJACENT PROPERTIES

Isolux Legend

	0.25 fc
	0.50 fc
	1.0 fc

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Consultant
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PROPOSED MULTIFAMILY/RETAIL DEVELOPMENT
 1369 South Avenue, Block 624, Lot 12
 Plainfield, New Jersey

No.	Description	Date
1	Prepared per Completeness Review comments	09/29/2019
2	Revised per Tech, Review Committee comments	12/16/2019
3	Revised Building Footprint and Site Layout	05/29/2020

LIGHTING PLAN

Project number: 2019.15
 Date: May 28, 2019
 Drawn by: Carp
 Checked by: MAB

C-4.0

Scale: As Noted

**FEATURES & SPECIFICATIONS**

FEATURES — The OLWCM provides a wide range of performance, the most advanced in the industry and a wide range of options. Features include: adjustable beam spread, adjustable beam angle, adjustable beam spread, adjustable beam angle, adjustable beam spread, adjustable beam angle.

CONSTRUCTION — High quality aluminum, corrosion resistant, powder coated.

OPERATION — The OLWCM is designed for long life operation. It is designed for long life operation. It is designed for long life operation. It is designed for long life operation.

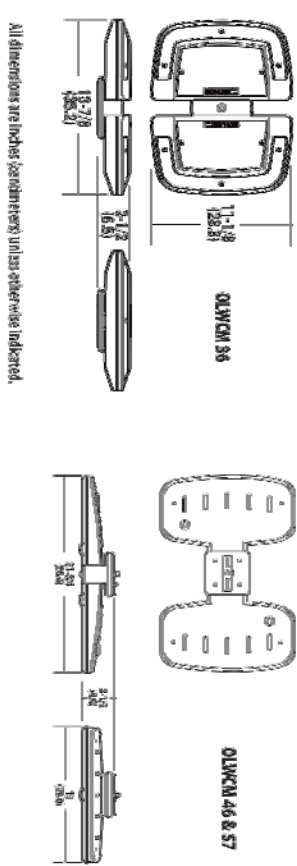
INSTALLATION — The OLWCM is designed for long life operation. It is designed for long life operation. It is designed for long life operation. It is designed for long life operation.

MAINTENANCE — The OLWCM is designed for long life operation. It is designed for long life operation. It is designed for long life operation. It is designed for long life operation.

WARRANTY — The OLWCM is designed for long life operation. It is designed for long life operation. It is designed for long life operation. It is designed for long life operation.

ACCESSORIES — The OLWCM is designed for long life operation. It is designed for long life operation. It is designed for long life operation. It is designed for long life operation.

EXAMPLE: OLWCM 46



Ordering Information	Example: OLWCM 46
Order Number	OLWCM 46
Order Description	LED Wall Mount Luminaire, 46" W x 12" H, 1000lm, 120V, 50/60Hz
Order Part Number	OLWCM 46
Order Part Name	LED Wall Mount Luminaire, 46" W x 12" H, 1000lm, 120V, 50/60Hz
Order Part Description	LED Wall Mount Luminaire, 46" W x 12" H, 1000lm, 120V, 50/60Hz
Order Part Dimensions	46" W x 12" H x 3.5" D
Order Part Weight	2.1 lbs
Order Part Material	Aluminum
Order Part Finish	White
Order Part Options	None
Order Part Notes	None

Accessories: Order of accessories only available. For more information, please contact your local distributor.

Notes: 1. Standard shipping weight is 2.1 lbs. 2. Standard shipping dimensions are 46" x 12" x 3.5".

D-Series Size 1 LED Wall Luminaire**Specifications**

Luminaire 13.5" x 4" x 1.5"
Weight 2.1 lbs
Depth 1.5"
Height 4.5"
Beam Angle 30°

Back Box (B&W, B&C) 8.5" x 4" x 1.5"
Weight 2.1 lbs
Depth 1.5"
Height 4.5"
Beam Angle 30°

Ordering Information

EXAMPLE: DSXW1 LED 20C

Ordering Information	Example: DSXW1 LED 20C
Order Number	DSXW1 LED 20C
Order Description	LED Wall Mount Luminaire, 20" W x 4" H, 1000lm, 120V, 50/60Hz
Order Part Number	DSXW1 LED 20C
Order Part Name	LED Wall Mount Luminaire, 20" W x 4" H, 1000lm, 120V, 50/60Hz
Order Part Description	LED Wall Mount Luminaire, 20" W x 4" H, 1000lm, 120V, 50/60Hz
Order Part Dimensions	20" W x 4" H x 1.5" D
Order Part Weight	2.1 lbs
Order Part Material	Aluminum
Order Part Finish	White
Order Part Options	None
Order Part Notes	None

Accessories: Order of accessories only available. For more information, please contact your local distributor.

Notes: 1. Standard shipping weight is 2.1 lbs. 2. Standard shipping dimensions are 20" x 4" x 1.5".

Introduction

The D-Series Wall Luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

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Introduction

Schedule	Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Fixture	Lumens Per Lamp	Light Loss Factor	Wattage
A	☐	A	3	Lithonia Lighting	DSXW1 LED 20C MWO/L	DSXW1 LED LIGHT ENGINE TYPE FTM, OPTIC 3000K, @ 3000K	LED	1	DSXW1 LED 20 MWO/L	2810/226	1	23.3
B	☐	B	0	Lithonia Lighting	WST LED 1 10A/0020K SR4 MWO/L	1 MODULE 10 DRIVER, 3000K TEMPERATURE, GENERAL PURPOSE LED W/ NOMINAL LUMENS	LED	1	WST LED 1_10 A/0020K SR4 MWO/L	1628/204	1	24
C	☐	C	2	Lithonia Lighting	OLWCM 46	GENERAL PURPOSE LED W/ NOMINAL LUMENS	LED	1	OLWCM_46	4448/188	1	70

Statistics	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.8 fc	2.4 fc	0.1 fc	24.0:1	8.0:1
Calc Zone #2	+	1.1 fc	2.0 fc	0.5 fc	4.0:1	2.2:1
Calc Zone #3	+	1.7 fc	3.3 fc	0.3 fc	11.0:1	5.7:1

Luminaire Locations	Location	Aim
No. Label	X Y Z	MH Orientation
1 A	+1895.51 -1590.90 12.00	270.00
2 A	+1895.58 -1633.75 12.00	270.00
3 A	+1895.65 -1687.31 12.00	270.00
1 B	+1895.57 -1597.69 12.00	0.00
2 B	+1898.77 -1597.77 12.00	0.00
1 C	+1893.40 -1613.00 12.00	270.00

2 LUMINAIRE STATISTICS**PROPOSED MULTIFAMILY/RETAIL DEVELOPMENT**

1369 South Avenue, Block 624, Lot 12
Plainfield, New Jersey

No.	Description	Date
1	Revised per Commission Review comments	08/26/2019
2	Revised per Tech. Review Committee comments	12/16/2019
3	Revised Building Footprint and Site Layout	05/26/2020

LIGHTING DETAILS AND NOTES

Project number	2019_15
Date	May 28, 2019
Drawn by	Cap
Checked by	MAB

C-4.1

Scale AS Noted

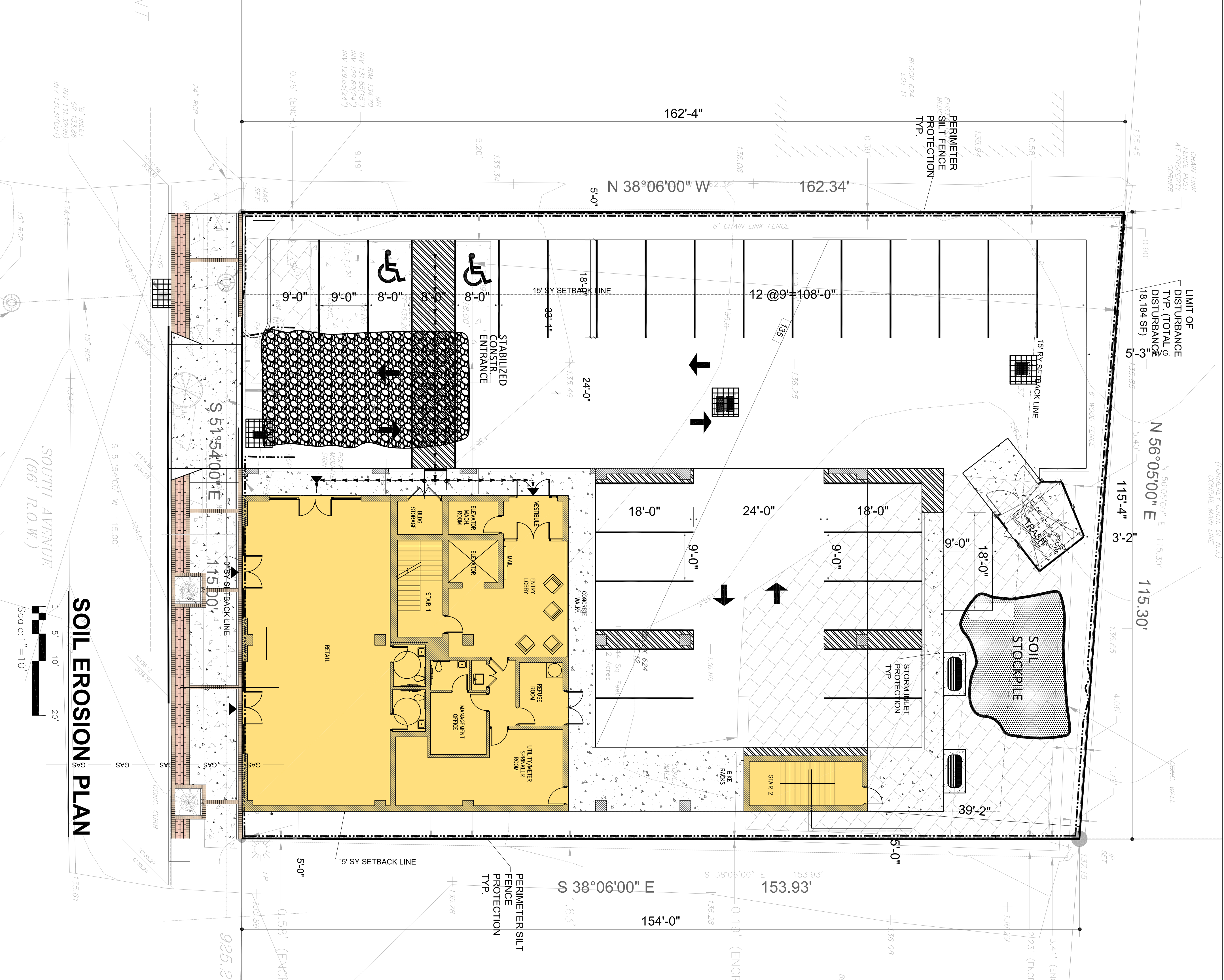


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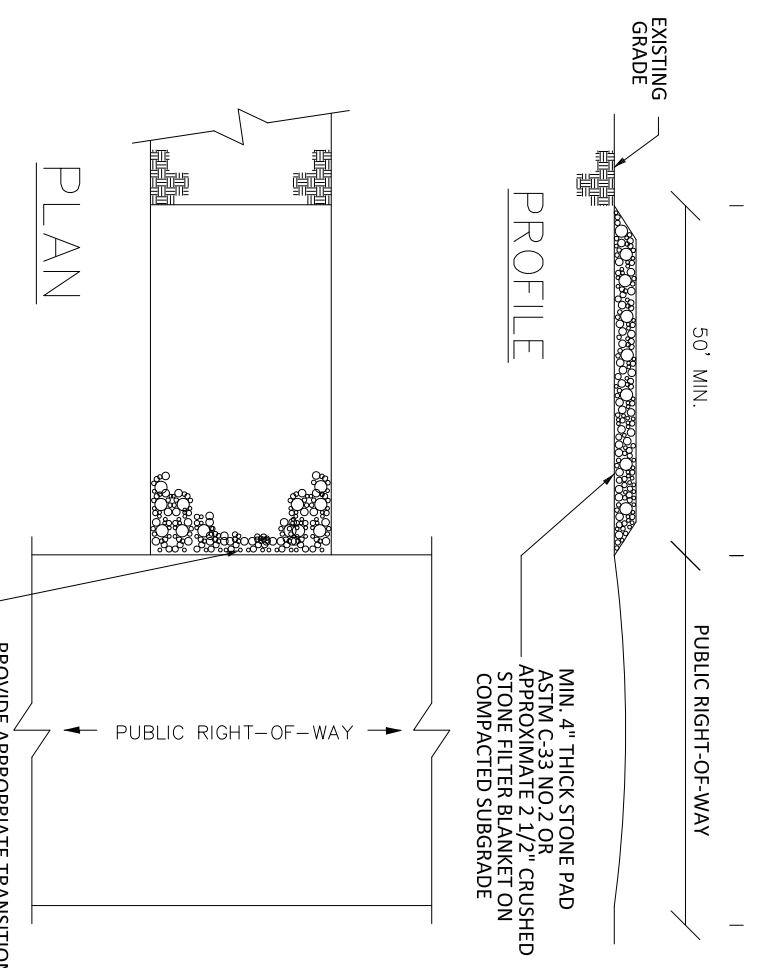
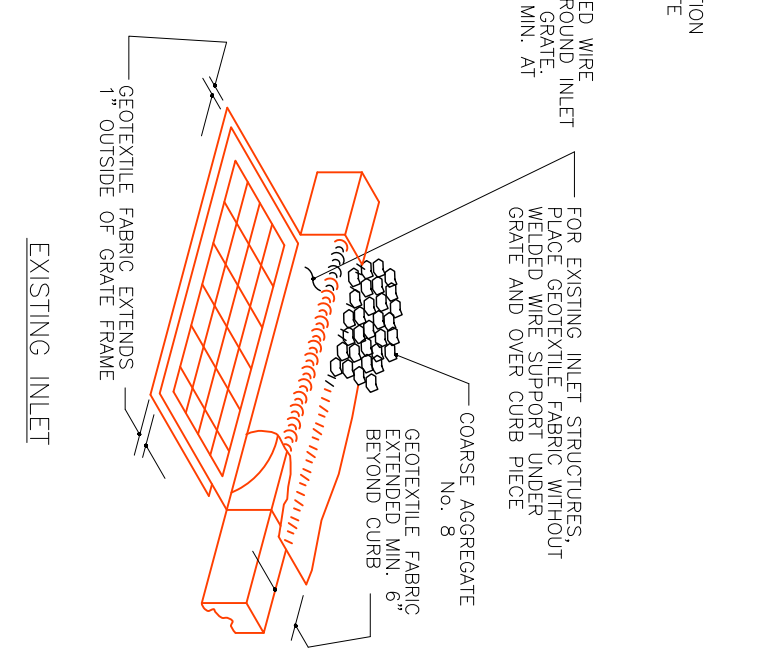
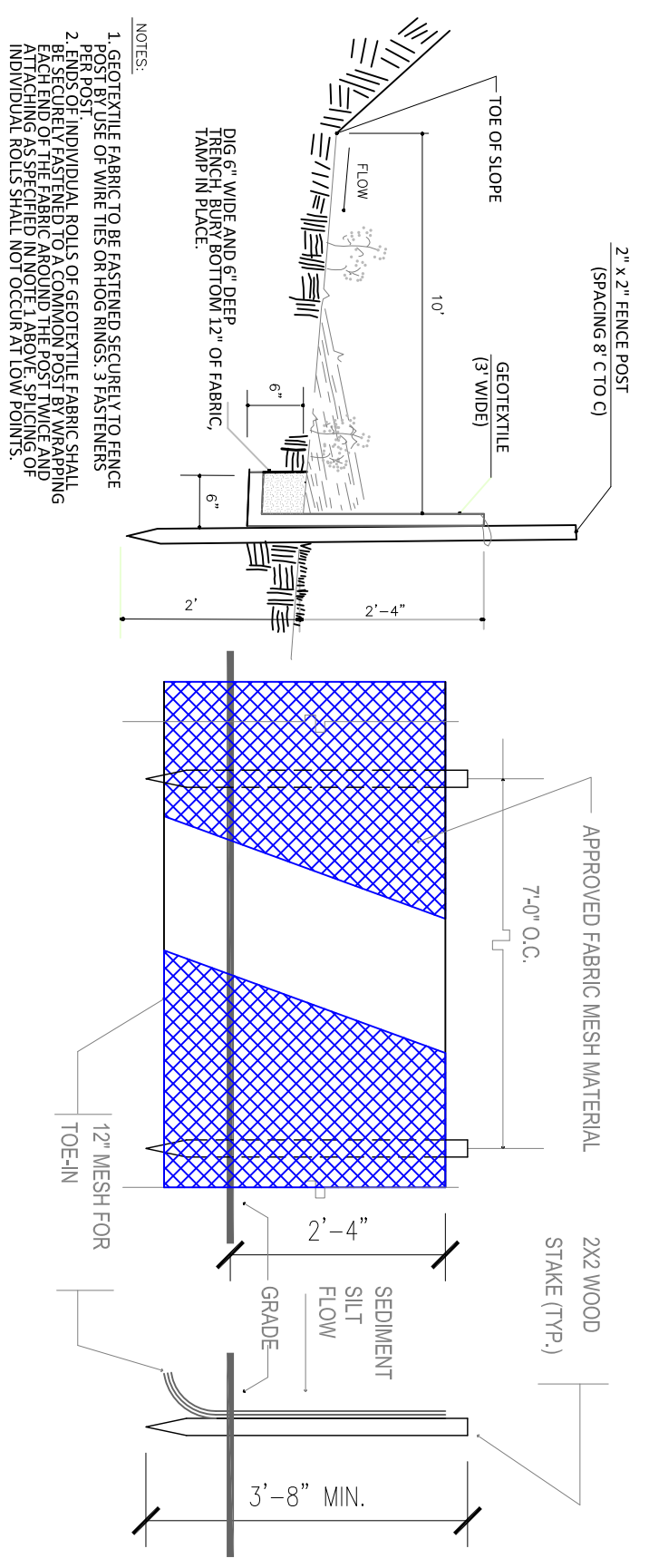
SOIL EROSION PLAN

Scale: 1" = 10'

SOIL EROSION AND SEDIMENT CONTROL NOTES

- All soil erosion and sediment control practices on this plan will be constructed in accordance with the "New Jersey Standards for Soil Erosion and Sediment Control" last revised February 2014. These measures will be installed prior to any major soil disturbance or in their proper sequence and maintained until permanent protection is established.
- All soil to be exposed or stockpiled for a period of greater than 60 days, and not under active construction, will be temporarily seeded and hay mulched or otherwise protected with vegetative cover. This temporary cover shall be maintained until such time whereby permanent rehabilitation is established.
- Seeding Dates:** The following seeding dates are best recommended to establish permanent vegetative cover within most locations: Spring - 3/15/15 and Fall - 8/15 - 10/1
- Sediment fences are to be properly trenched and maintained until permanent vegetative cover is established.
- All storm drainage inlets shall be protected by one of the practices accepted in the Standards, and protection shall remain until permanent stabilization has been established. Storm drainage outlet points shall be protected as required before they become functional.
- Match materials shall be un-coupled salt hay or small grain straw applied at the rate of 70-90 pounds per 1000 square feet (1.5:2.0 tons/acre). Additional required mulch practices are prescribed in the Standards.
- All erosion control devices shall be periodically inspected, maintained and corrected by the contractor. Any damage incurred by erosion shall be rectified immediately.
- The Soil Conservation District will be notified in writing at least 48 hours prior to any soil disturbing activities. ***** email - *****
- The applicant must obtain a District Issued Report-of-Compliance prior to applying for the Certificate of Occupancy or Temporary Certificate of Occupancy from the respective municipality. NJ - NJCA or any other permitting agency.** Consult with the District for a final approved grading plan and approved erosion control measures. A permit to stabilize shall be obtained from the District when winter weather or snow cover prohibits the proper application of seed, mulch, fertilizer or hydro-seed.
- Paved roadways must be kept clean at all times. Do not utilize a fire or garden hose to clean roads unless the runoff is directed to a properly designed and functioning sediment basin. All pump dewatering operations shall be directed toward a functioning sediment basin.
- All surfaces are to be provided with 6 inches of topsoil prior to re-seeding.
- All plan revisions must be submitted to the District for proper review and approval.
- A crushed stone wheel cleaning trucking-pad is to be installed at all site exits using 2 1/2" crushed stone to a minimum length of 50 feet. All driveways must be provided with crushed stone until paving is complete.
- Maximum soil slopes shall not exceed 2:1 unless additional measures are taken and approved by the Soil Conservation District. These "special" measures shall be designed by the applicant's engineer.
- The Soil Conservation District shall be notified, in writing, for the site of any portion of the project or for the site of individual activities. Necessary information shall be provided. Additional measures deemed necessary by District officials shall be implemented as conditions precedent.**

SILT FENCE



NOTE:
 STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CLEAN AND FUNCTIONAL STATE THROUGHOUT CONSTRUCTION. TO PREVENT EROSION AND SEDIMENTATION, THE ENTRANCE SHALL BE MAINTAINED WITH ADDITIONAL STONE AS CONDITIONS DEMAND.

PROPOSED MULTIFAMILY/RETAIL DEVELOPMENT

1369 South Avenue, Block 624, Lot 12
 Plainfield, New Jersey

No.	Description	Date
1	Revised Per Comments Review comments	09/26/2019
2	Revised Per Tech Review Committee comments	12/16/2019
3	Revised Building Footprint and Site Layout	05/26/2020

SOIL EROSION PLAN

Project number: 2019.15
 Date: May 28, 2019
 Drawn by: Carp
 Checked by: MAB

C-5.0

Scale: As Noted



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 Phone
 Fax
 e-mail

PROPOSED MULTIFAMILY/RETAIL DEVELOPMENT
1369 South Avenue, Block 624, Lot 12
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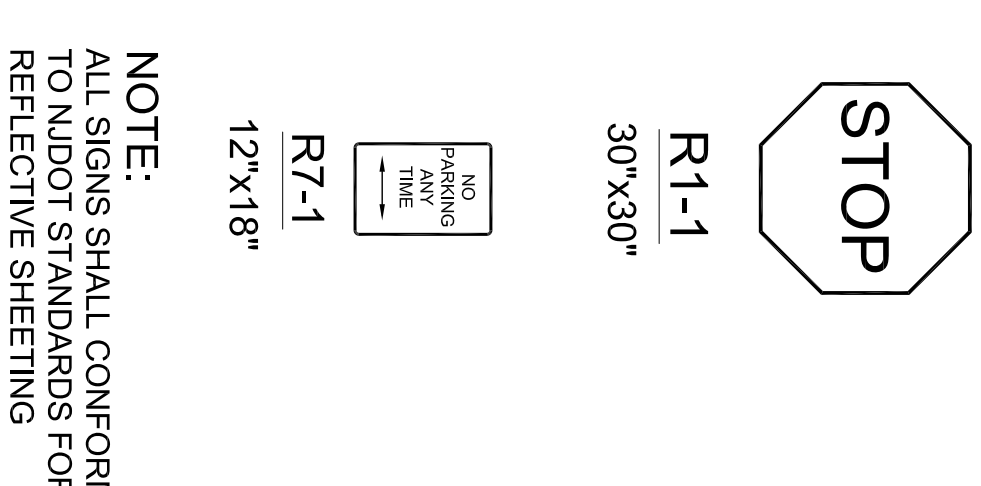
No.	Description	Date
1	Revised per Completeness Review comments	09/26/2019
3	Revised Bid Footprint and Site Layout	05/26/2020

SITE DETAILS

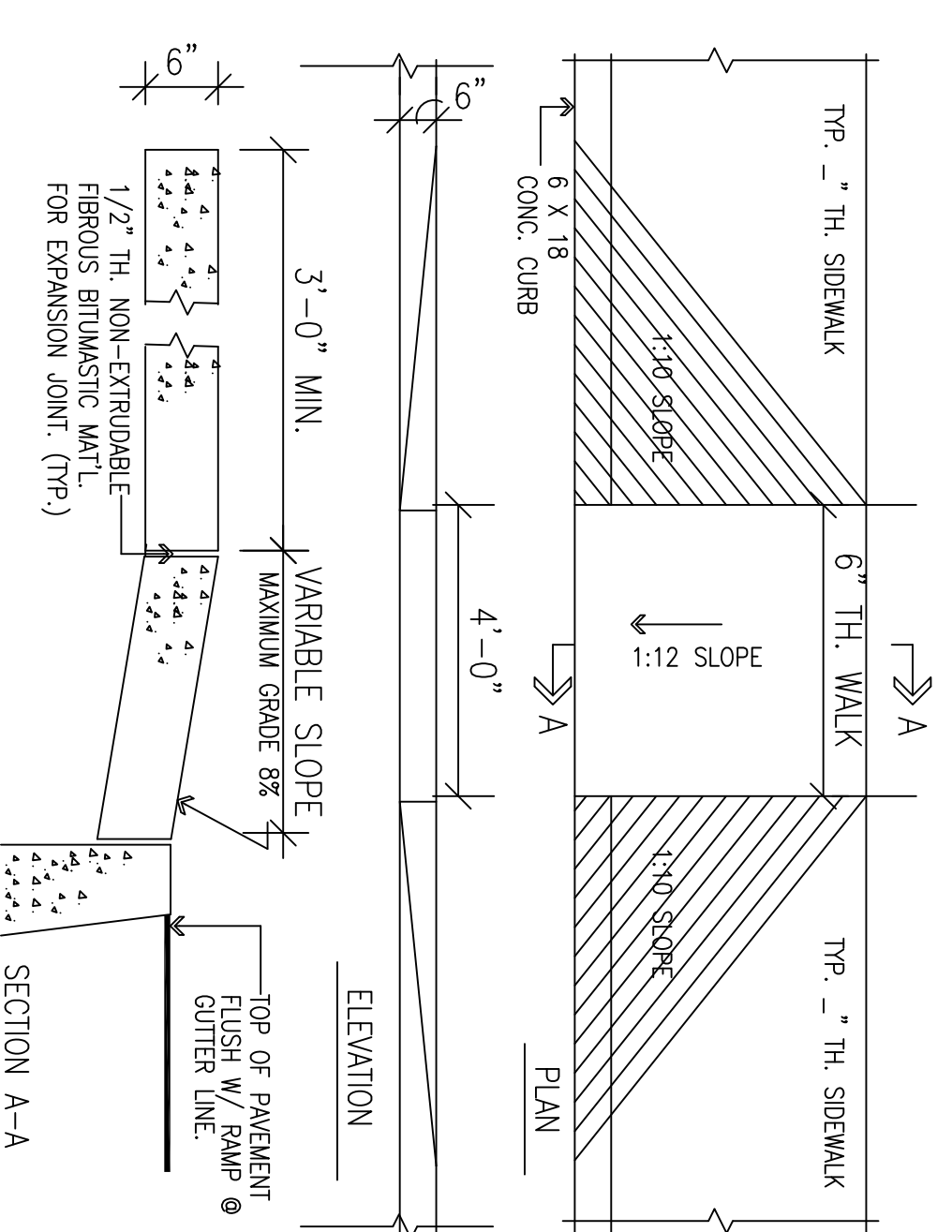
Project number	2019.15
Date	May 28, 2019
Drawn by	Carp
Checked by	MAB

C-6.0

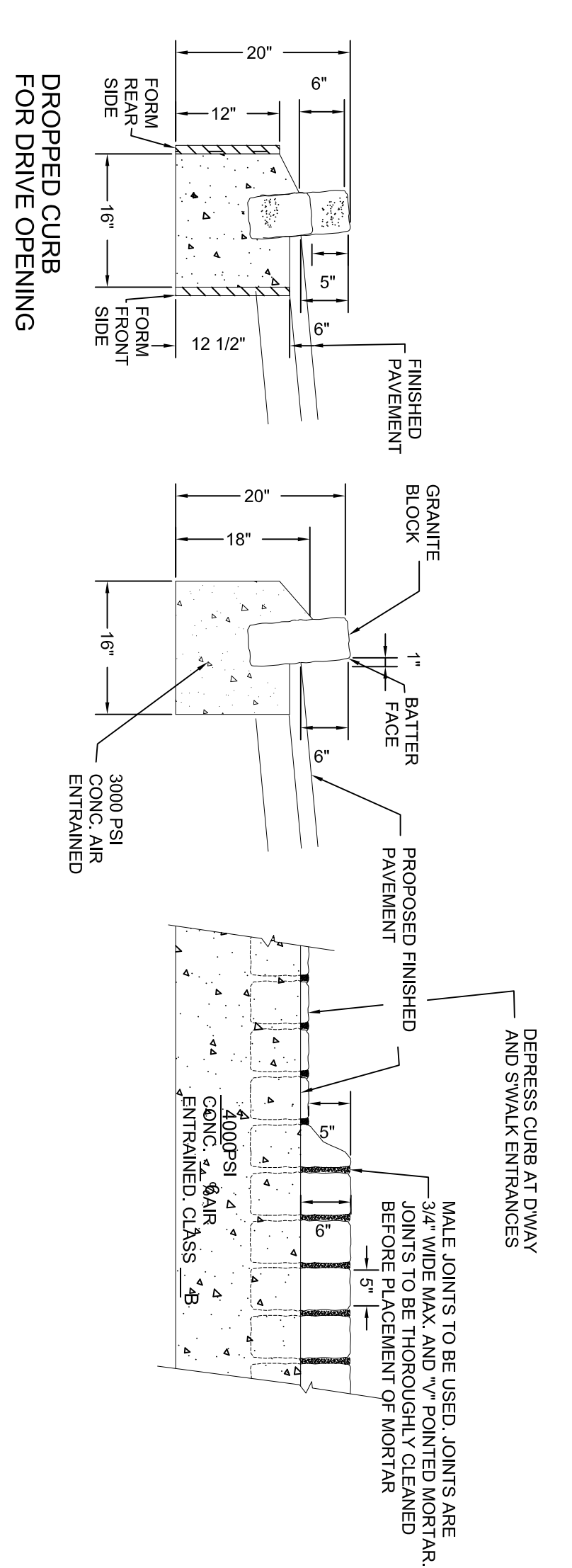
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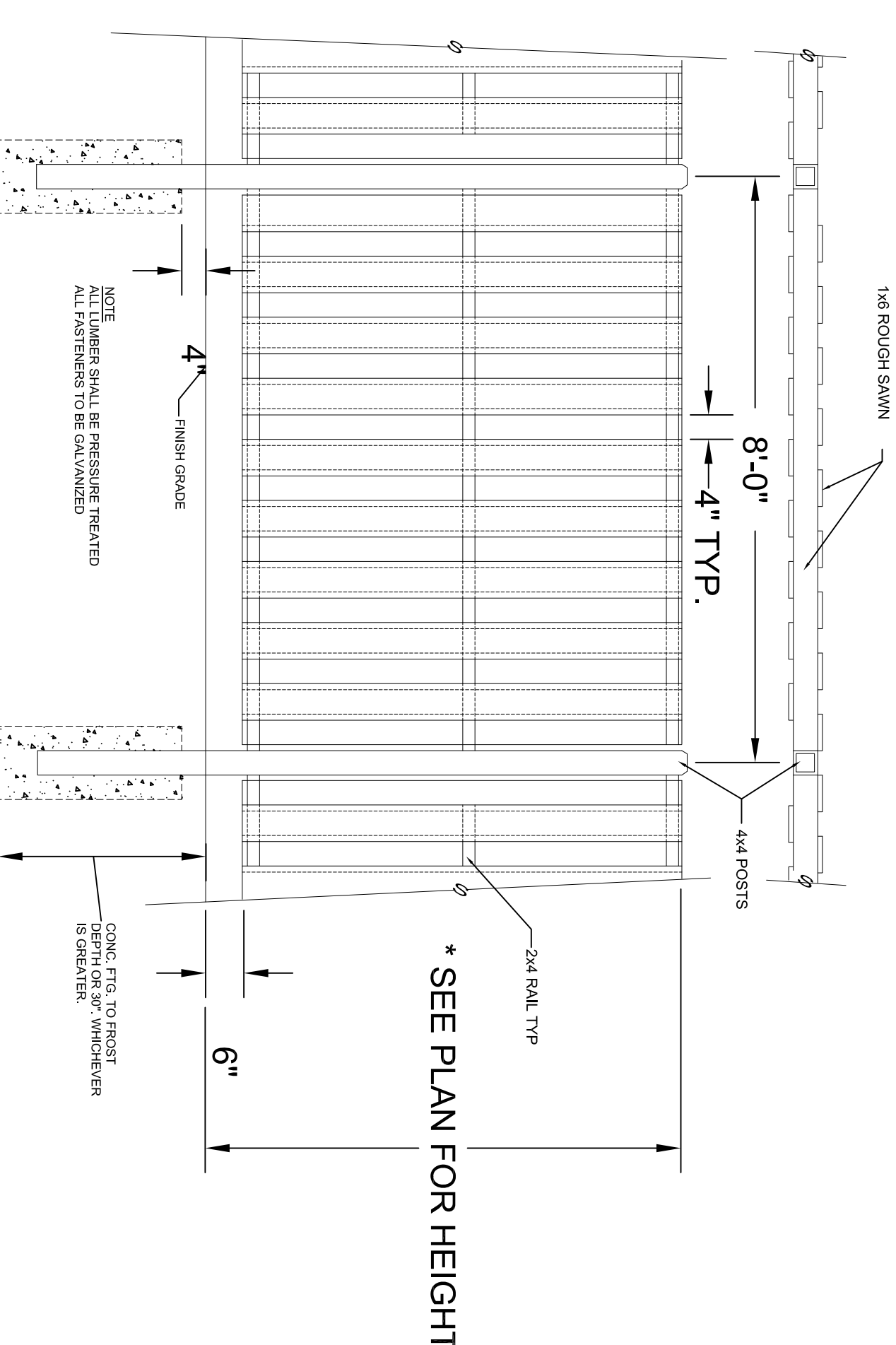
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C-6.0 **TRAFFIC SIGN DETAIL**



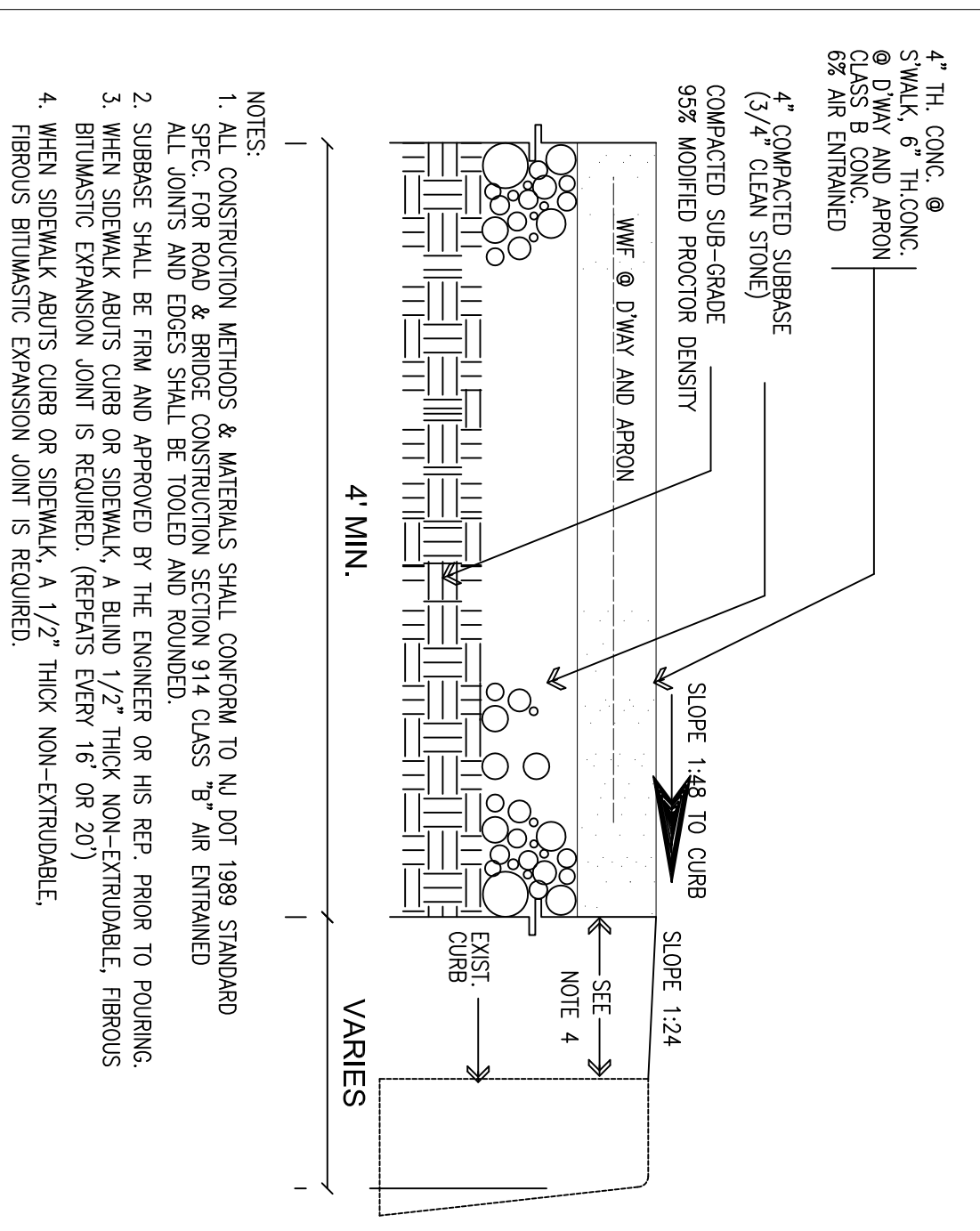
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C-6.0 **HANDICAP RAMP DETAIL**



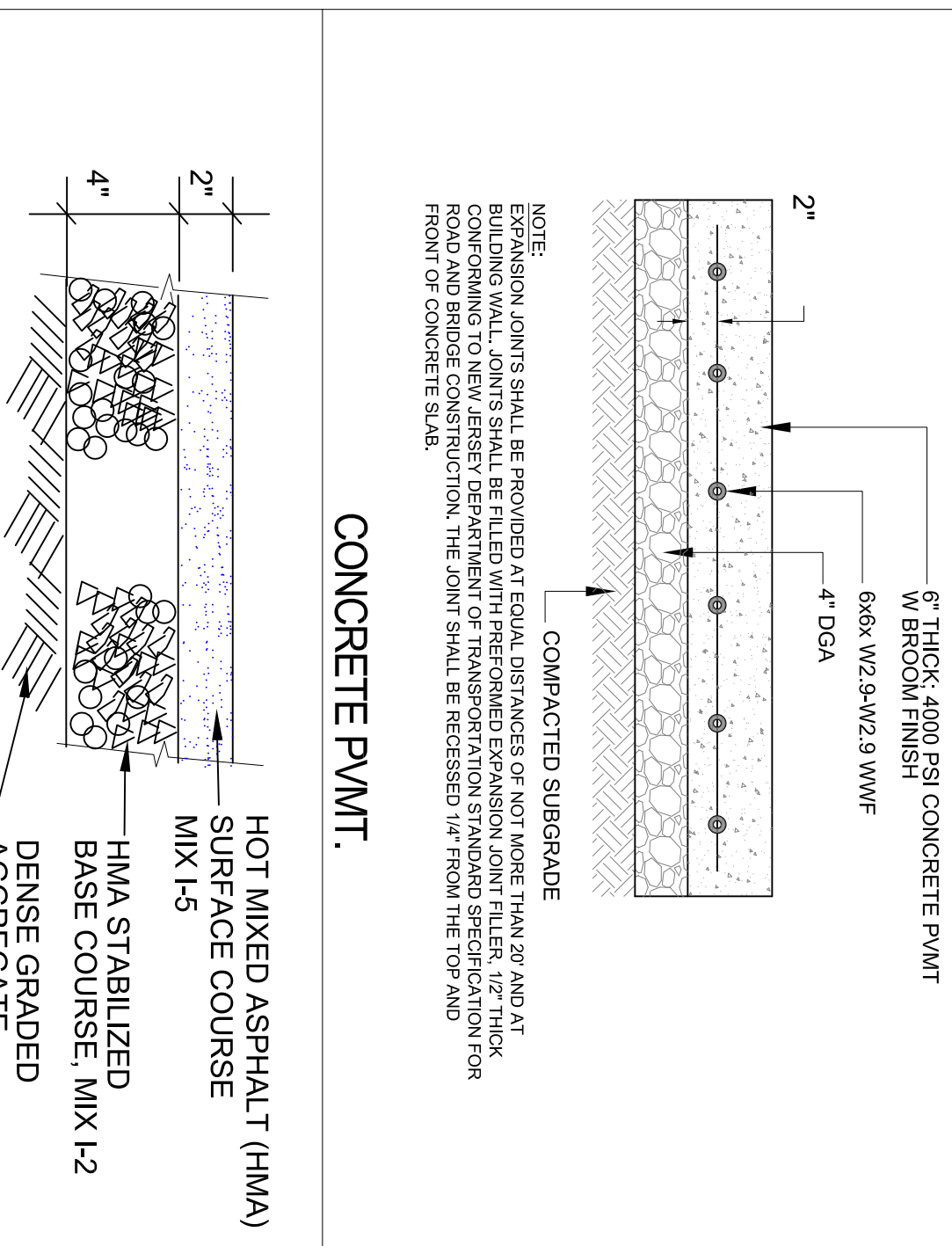
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C-6.0 **GRANITE BLOCK CURB DETAIL**



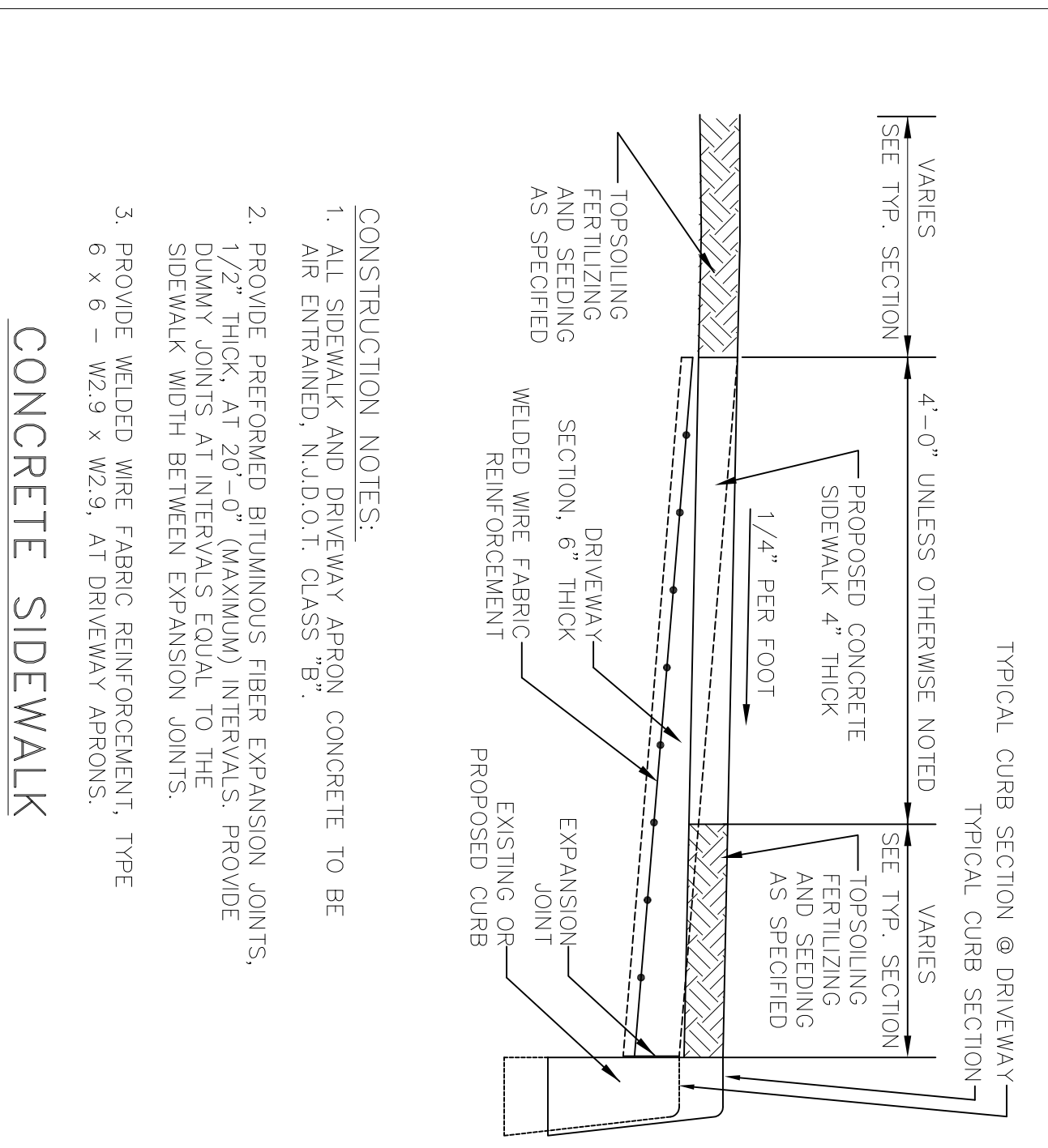
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C-6.0 **PRIVACY FENCE DETAIL (BOARD ON BOARD OR PVC)**



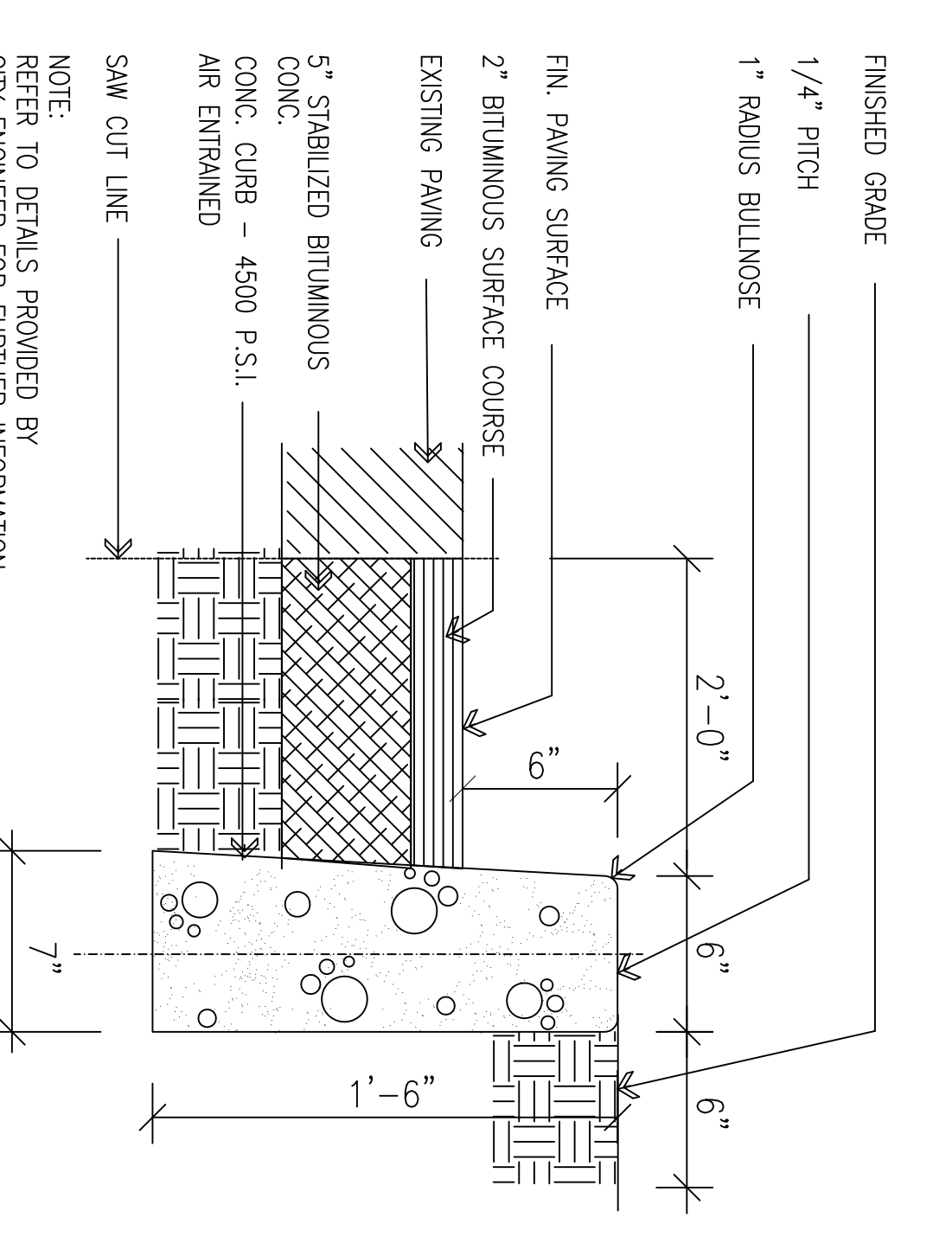
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C-6.0 **SIDEWALK DETAIL**



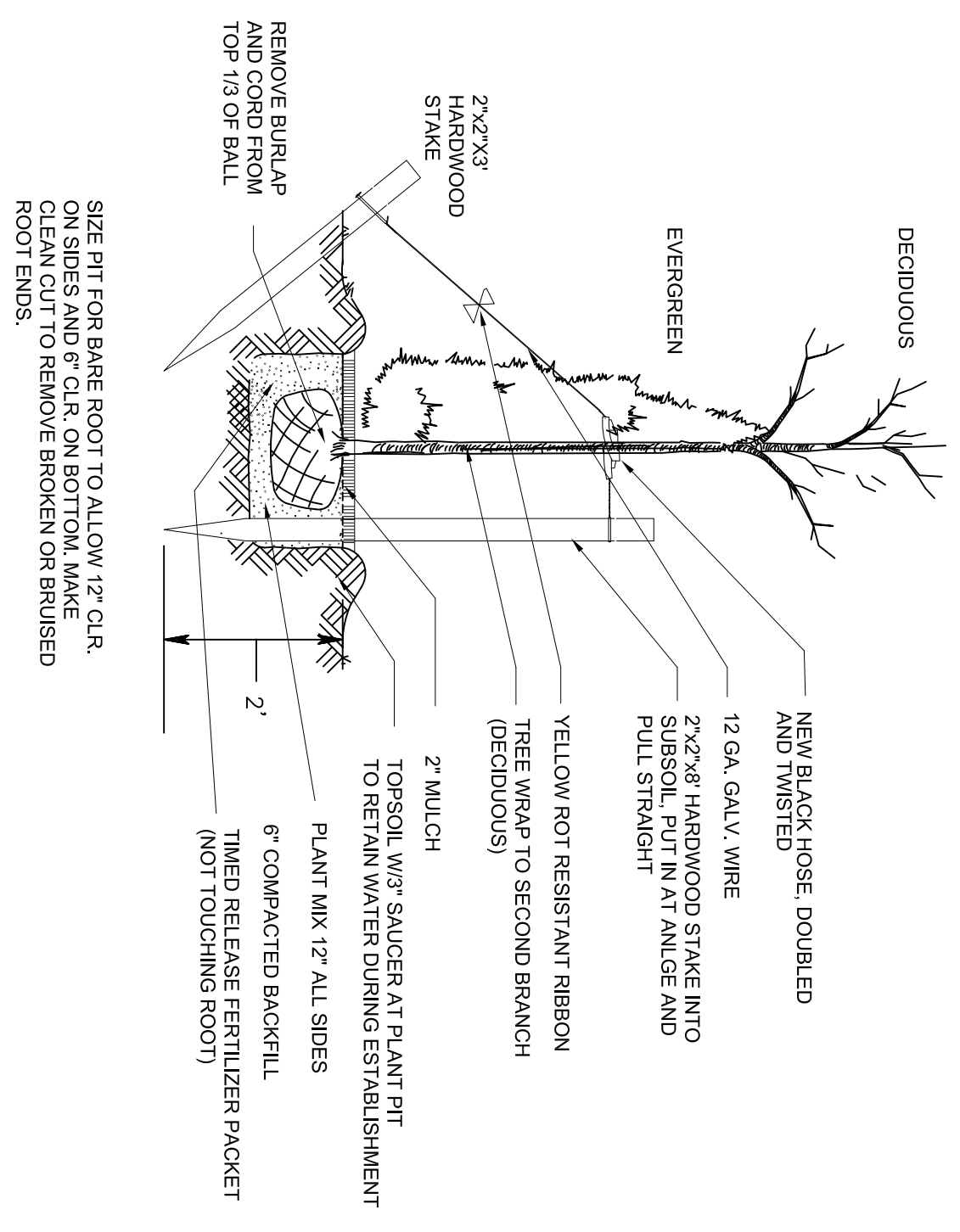
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C-6.0 **PAVEMENT DETAIL**



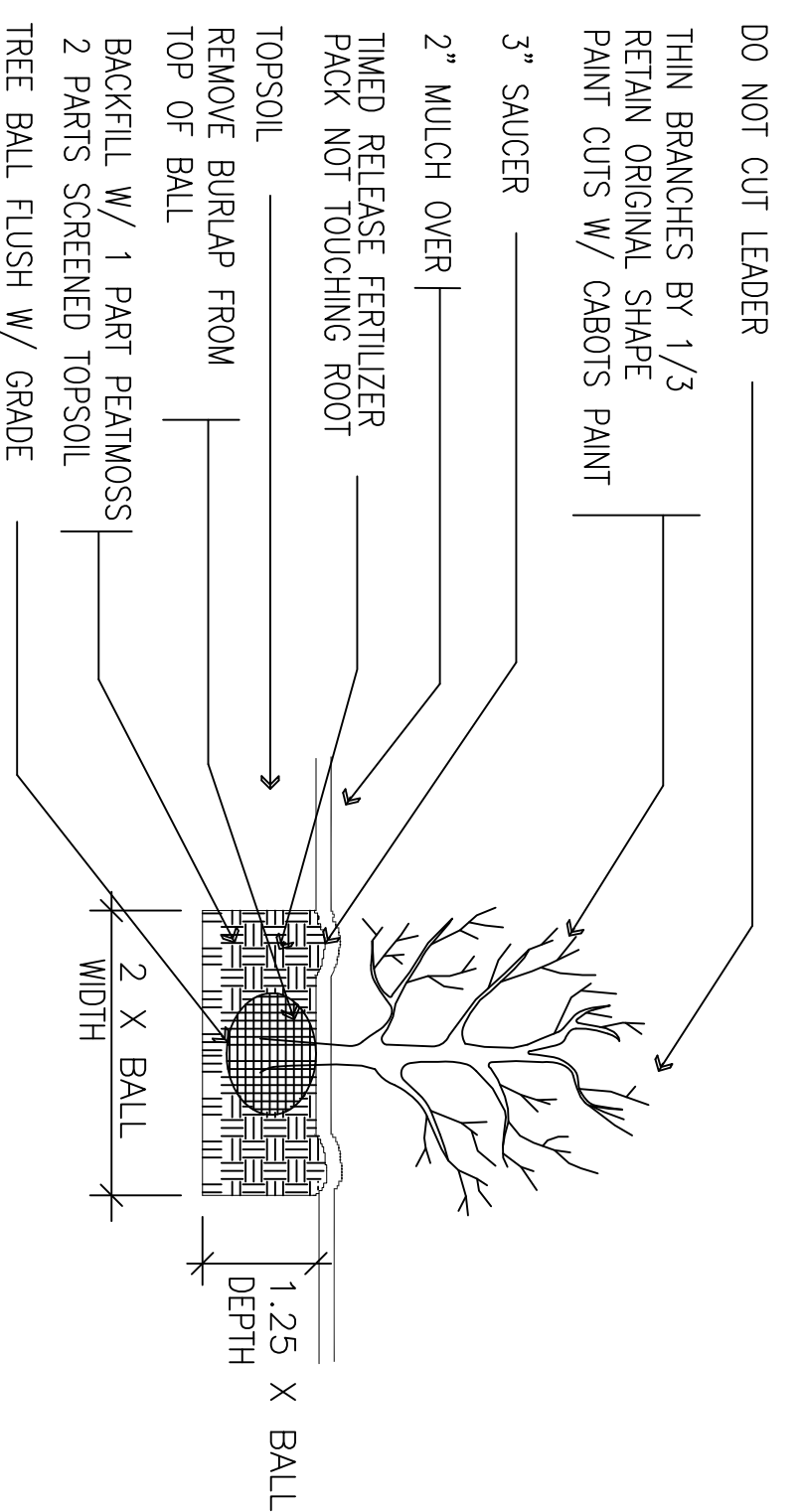
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C-6.0 **CONC. DRIVEWAY AND APRON DETAIL**



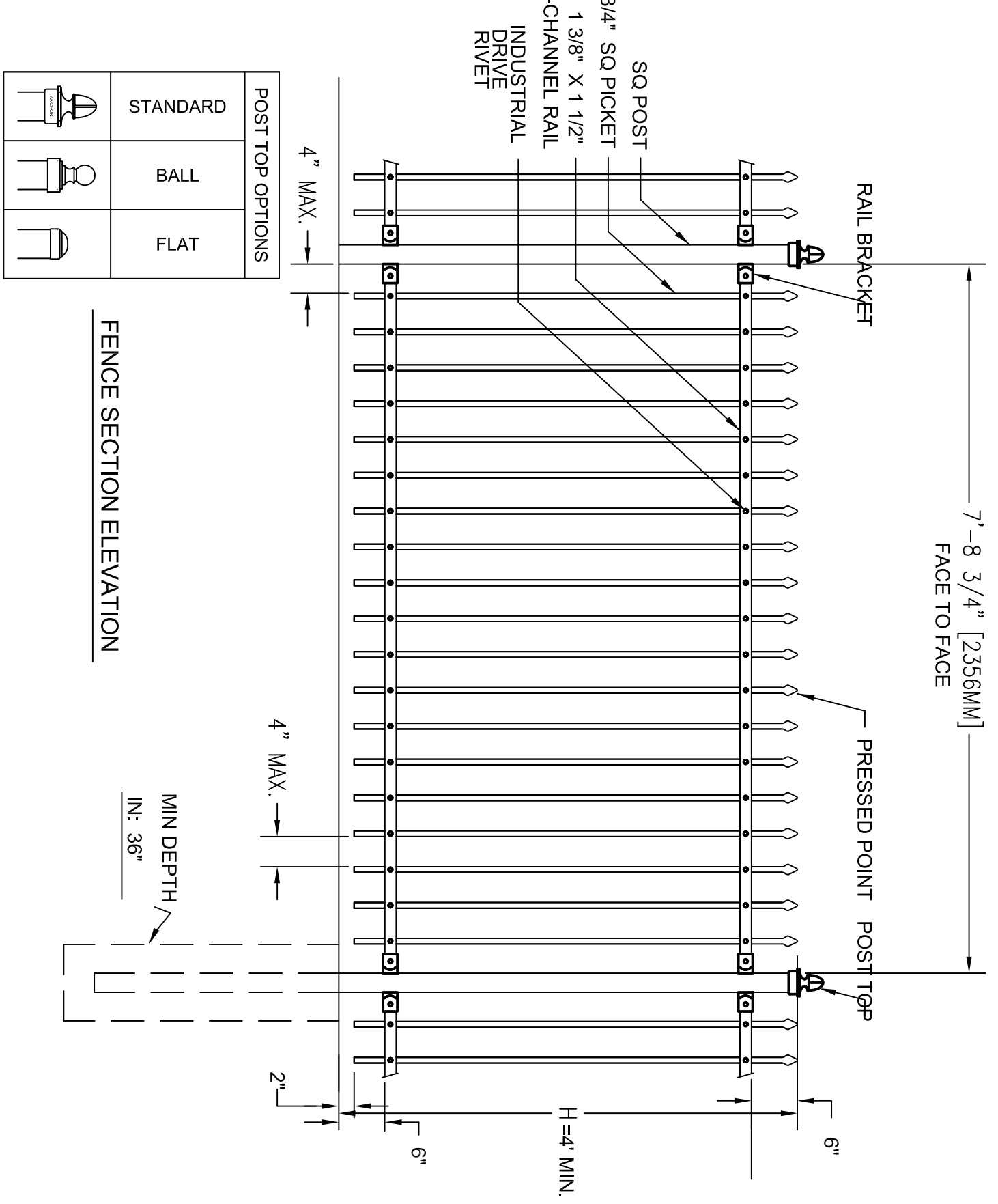
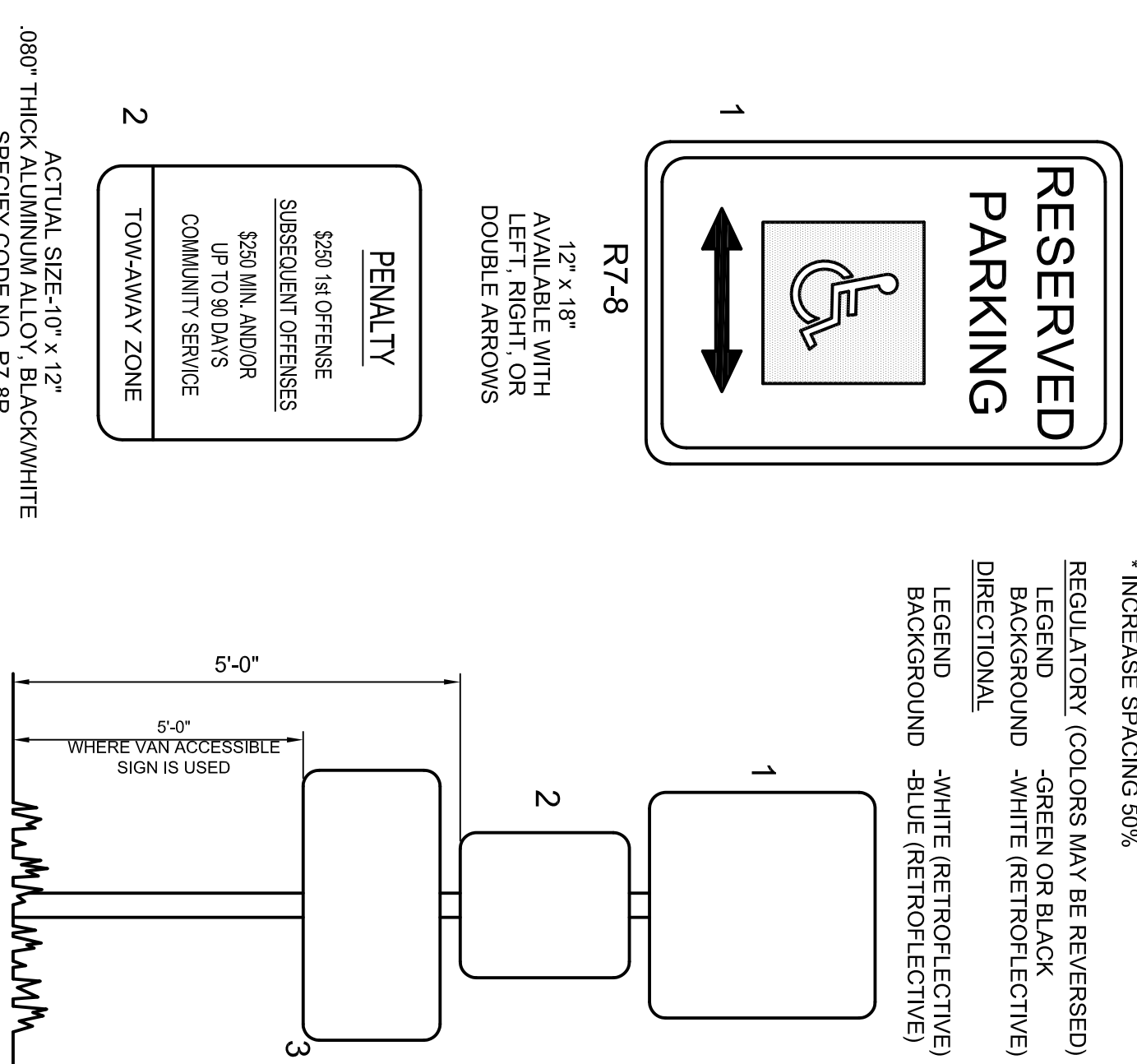
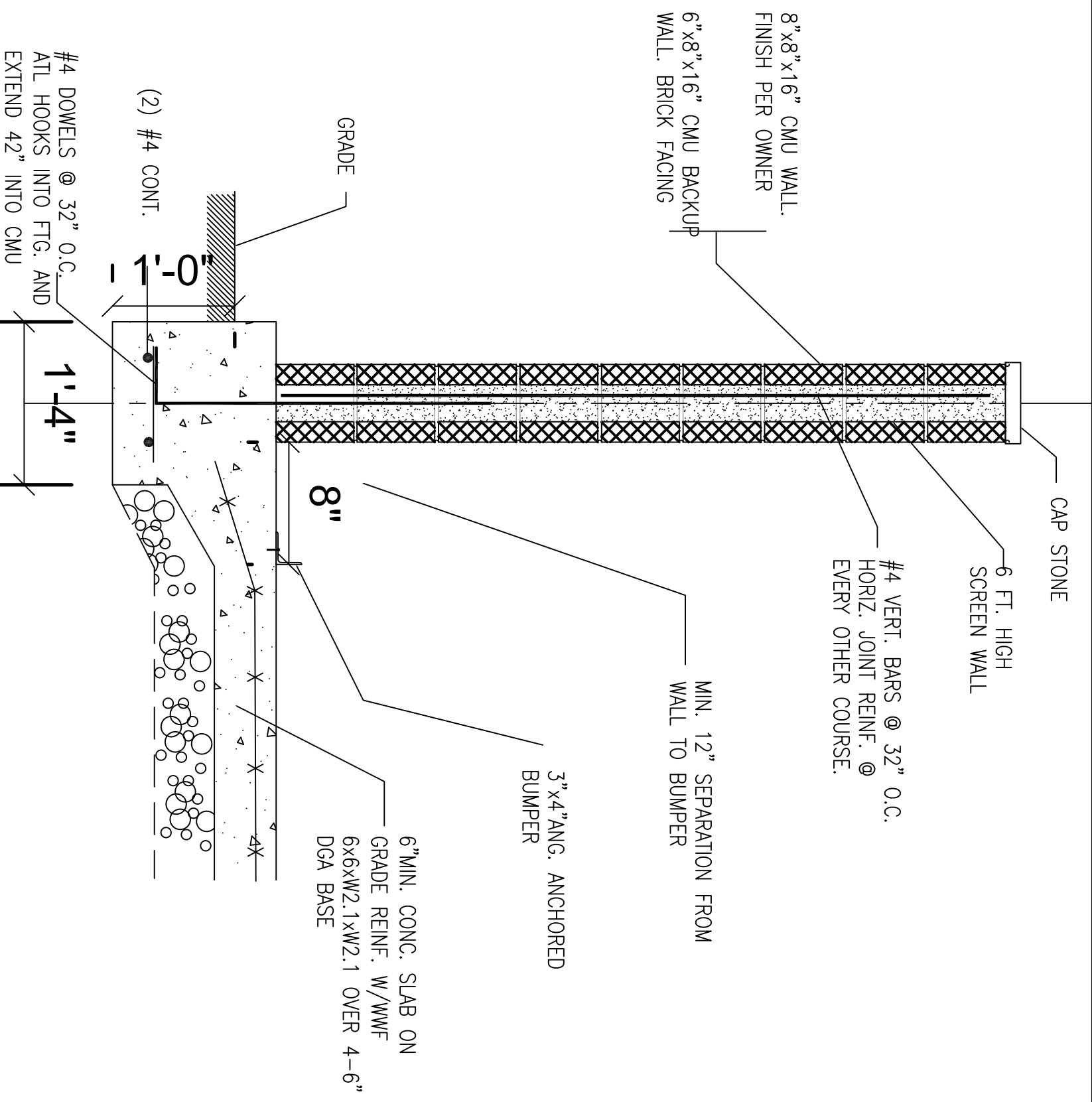
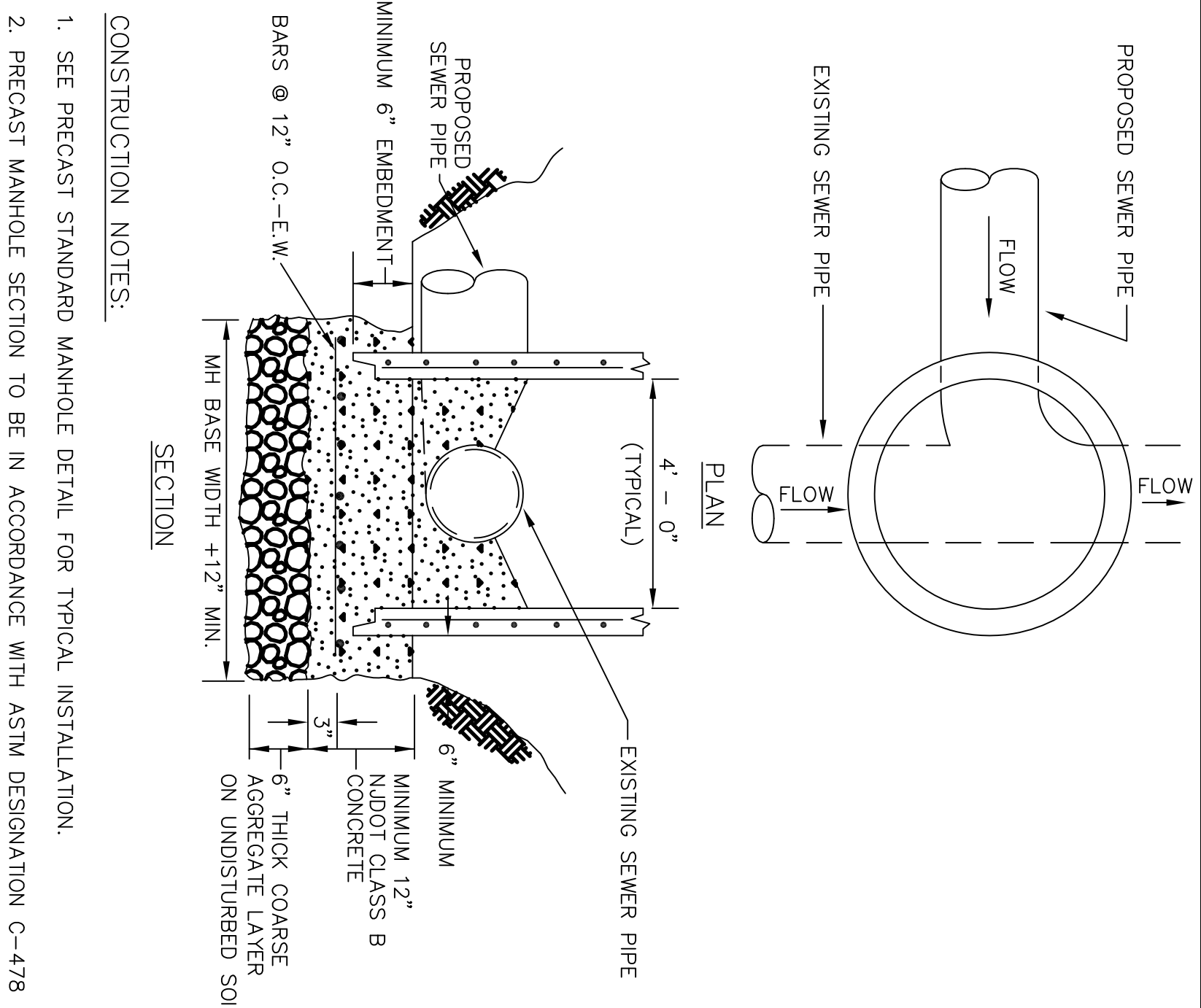
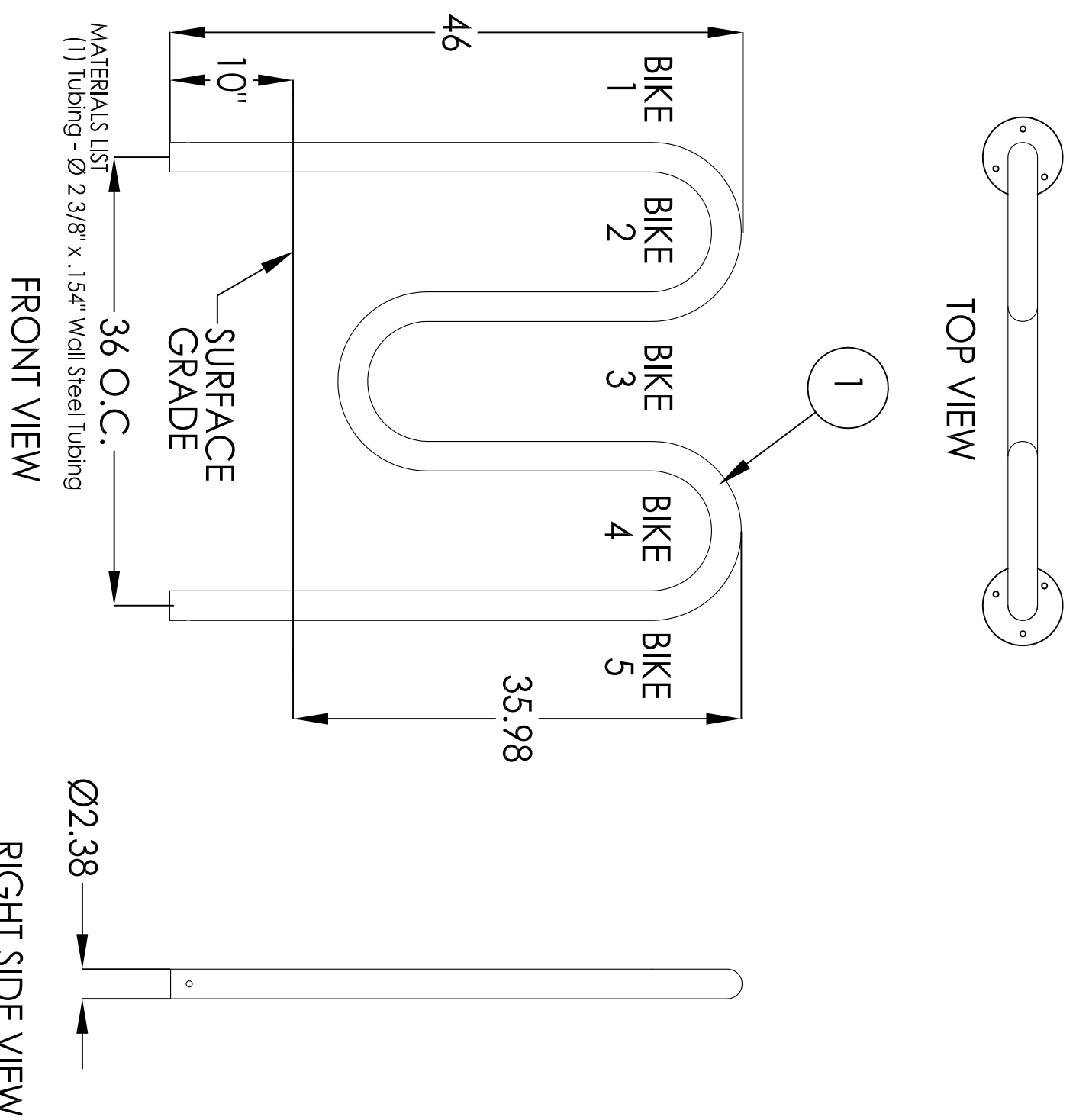
1
C-6.0 **CONCRETE CURB DETAIL**



5
C-6.0 **TREE PLANTING DETAIL**



7
C-6.0 **SHRUB PLANTING DETAIL**



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No.	Description	Date
1	Revised per Completeness Review comments	09/26/2019
3	Revised Bigd Footprint and Site Layout	05/28/2020

SITE DETAILS
 Project number: 2019.15
 Date: May 28, 2019
 Drawn by: Carp
 Checked by: MAB
C - 6.1
 Scale: As Noted

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1369 South Avenue, Block 624, Lot 12
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No.	Description	Date
1	Prepared per Completeness Review comments	08/26/2019
3	Revised Bldg Footprint and Site Layout	05/28/2020

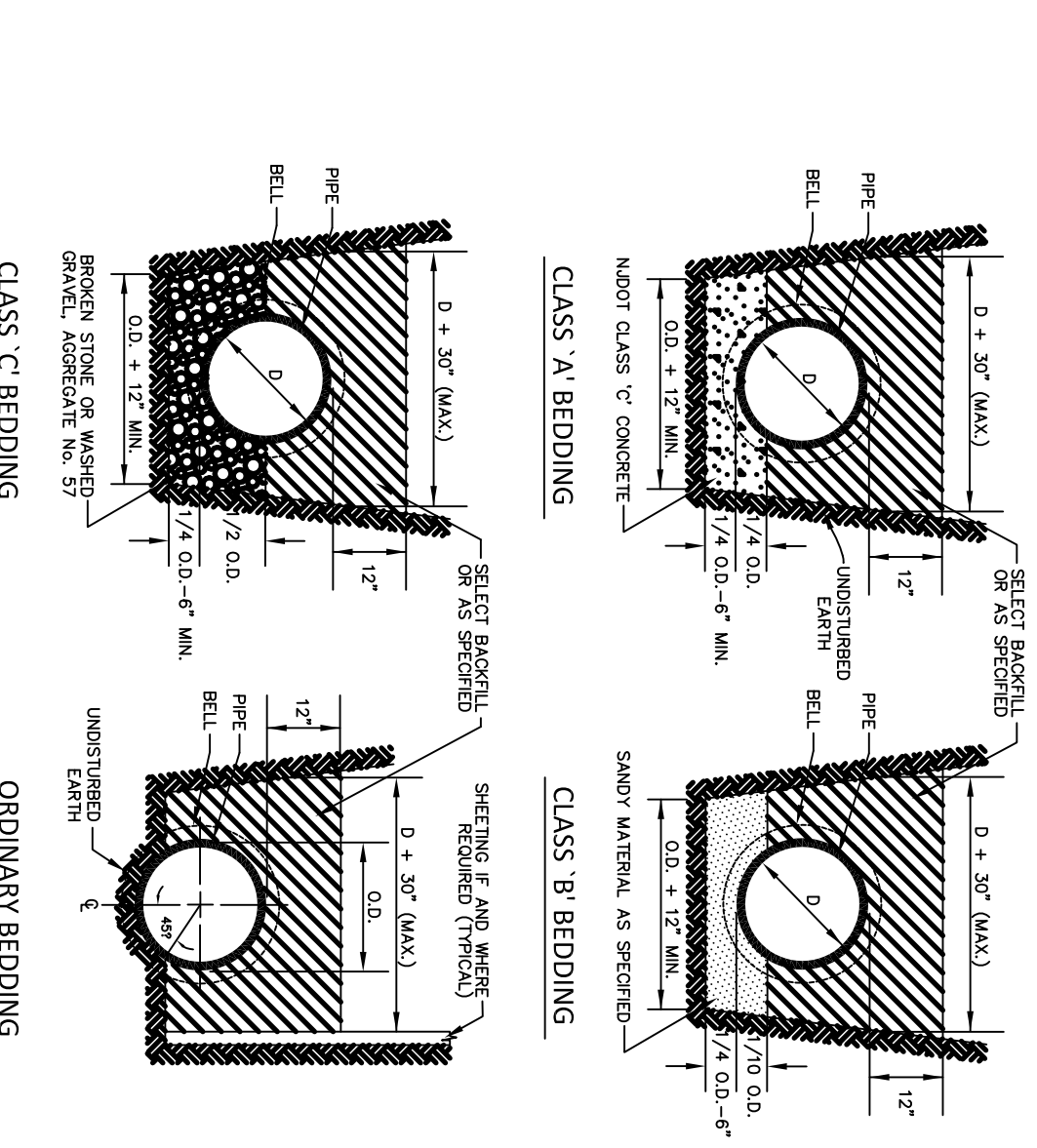
STORMWATER DETAILS
Project number: 2019.15
Date: May 28, 2019
Drawn by: Cap
Checked by: MAB
Scale: AS NOTED

STORM SEWER NOTES:

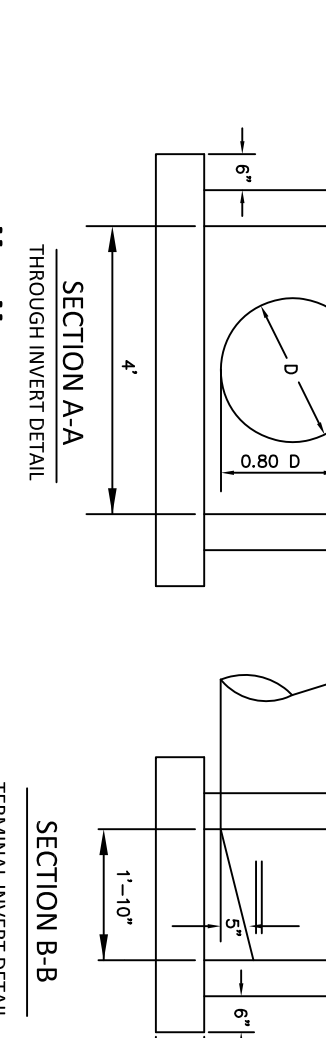
- INLETS MAY BE CONSTRUCTED OF CONCRETE, CONCRETE BLOCK OR PRECAST CONCRETE WALLS SHALL BE 8" THICK PRECAST CONCRETE. INLET FOUNDATIONS AND INVERTS SHALL BE CLASS C CONCRETE.
- CORRELLING OF INLET WALLS WILL BE PERMITTED AT THE RATE OF 1/2" PER 8" OF HEIGHT. MAXIMUM CORREL 5" PER WALL.
- EXCEPT FOR INLETS TYPE A AND C, FOUNDATIONS AND INVERTS SHALL BE CONSTRUCTED IN TWO STAGES, AND THE BOTTOM OF THE FOUNDINGS SHALL BE 8" BELOW THE OUTER WALL OF THE LOWEST PIPE IN THE INLET.
- WHEN THE DEPTH OF AN INLET THAT IS NOT PRECAST EXCEEDS A DEPTH OF 8" SHALL BE 12" THICK AND THE DEPTH OF FOUNDATION INCREASED TO 12". WHEN ROCK IS ENCOUNTERED THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED.
- INLET FOUNDATIONS WHICH ARE PRECAST SHALL BE PLACED ON A 6" THICK BED OF COMPACTED COARSE AGGREGATE SIZE NO. 57. THE COARSE AGGREGATE SHALL EXTEND 6" BEYOND THE HORIZONTAL LINES OF THE INLET FOUNDATION.
- CASING FOR PRECAST INLETS SHALL BE ADJUSTED TO GRADE WITH COURSE BRUSH AS REQUIRED. 12" MAXIMUM.
- WHEN THE DEPTH OF A PRECAST INLET EXCEEDS 10", AS FOUNDATION SHALL BE INCREASED TO 12". WHEN ROCK IS ENCOUNTERED THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED.
- MINIMUM WALL REINFORCEMENT FOR PRECAST INLETS TYPE A, B, C, E, D-1, AND B MODIFIED:

DEPTH BELOW TOP OF GRADE	HORIZONTAL REIN.	VERTICAL REIN.	WALL THK.
0' TO 10'-0"	#4 @ 10" C.C. #4 @ 16" C.C. #6 @ 10" C.C. #4 @ 18" C.C. #6		
10'-1" TO 15'-0"	#4 @ 8" C.C. #4 @ 16" C.C. #6 @ 15'-1" TO 20'-0" #4 @ 8" C.C. #4 @ 18" C.C. #6		

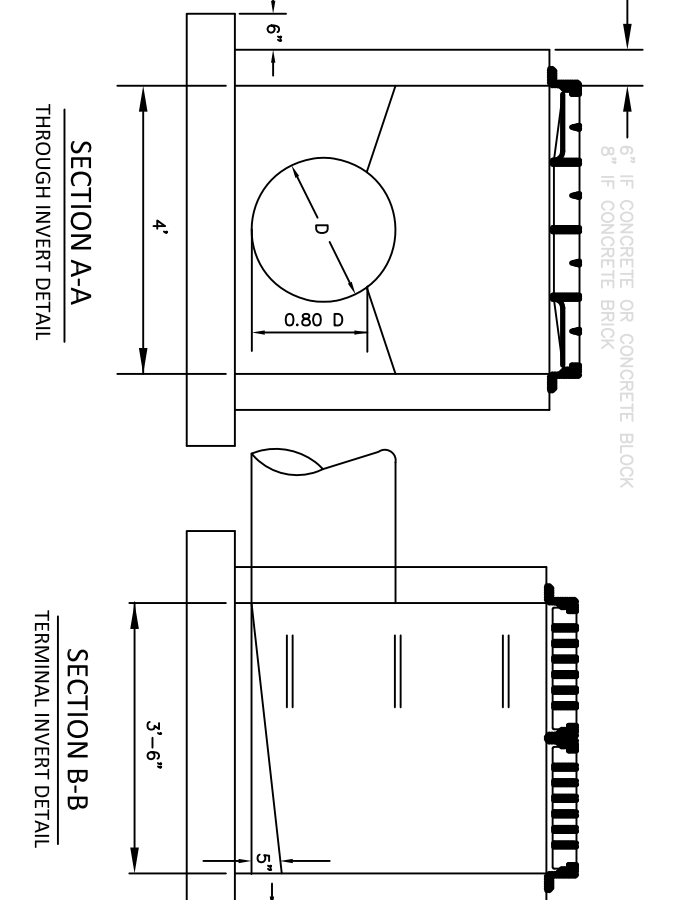
STORM SEWER PIPE BEDDING DETAIL



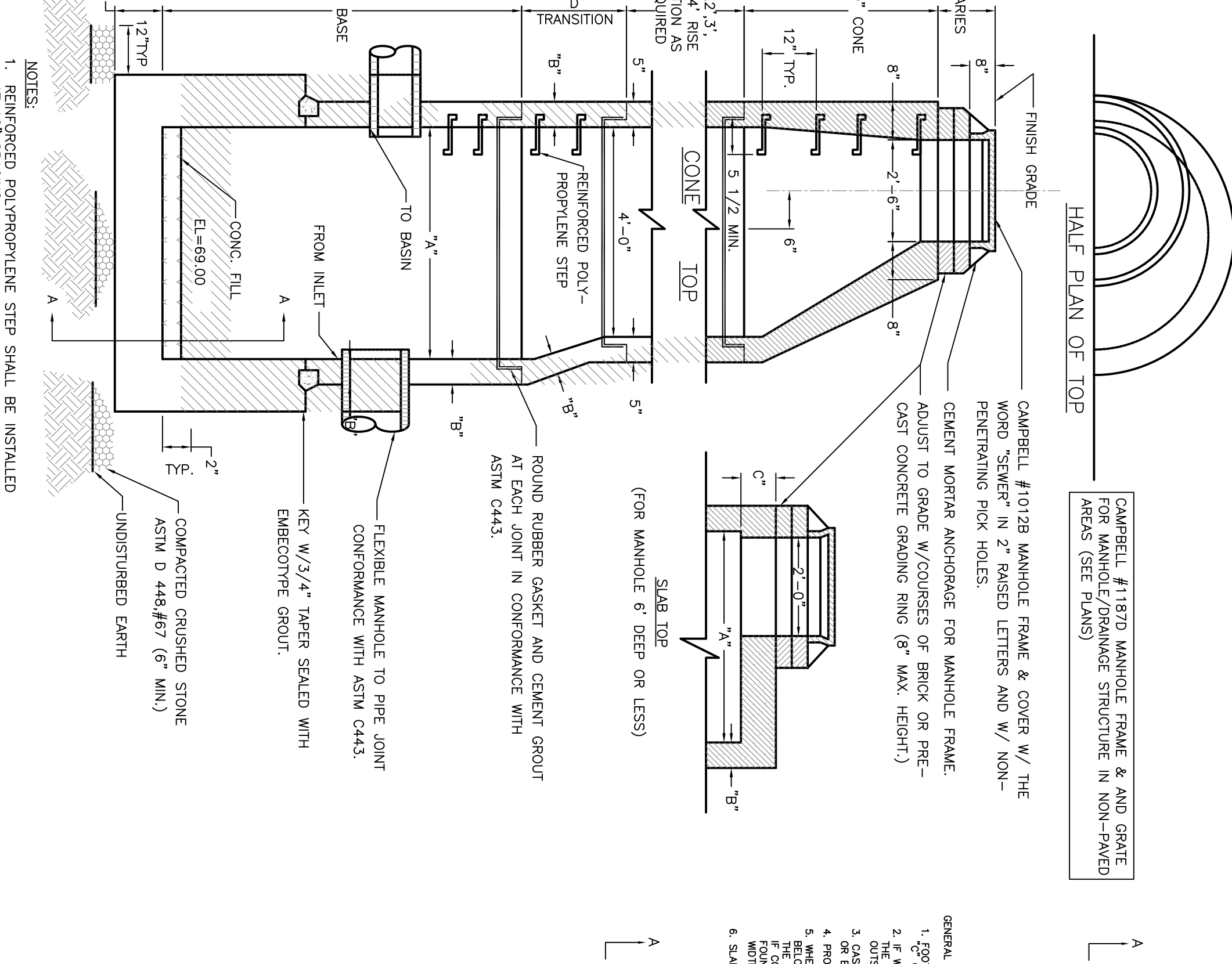
TYPE "A" INLET



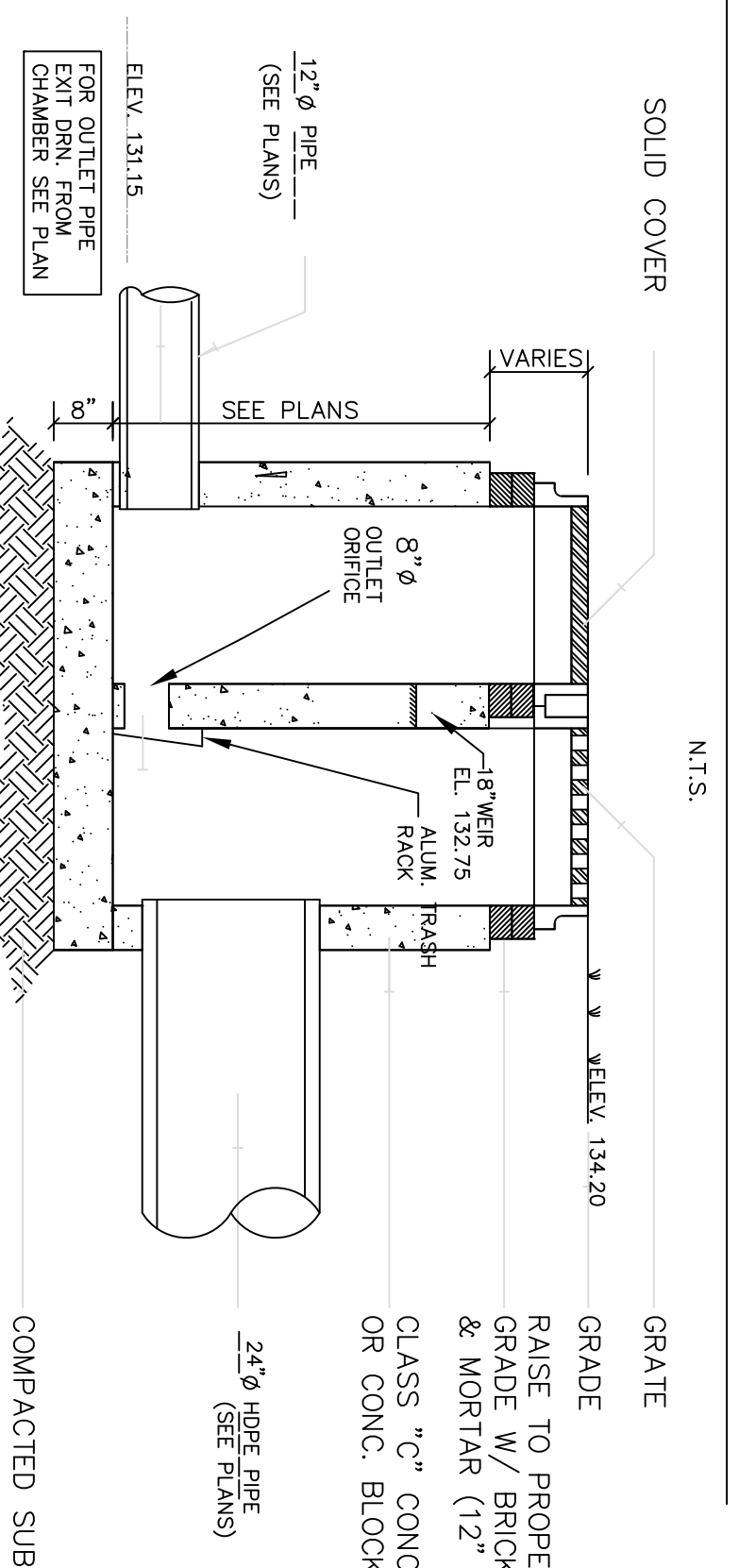
TYPE "E" INLET



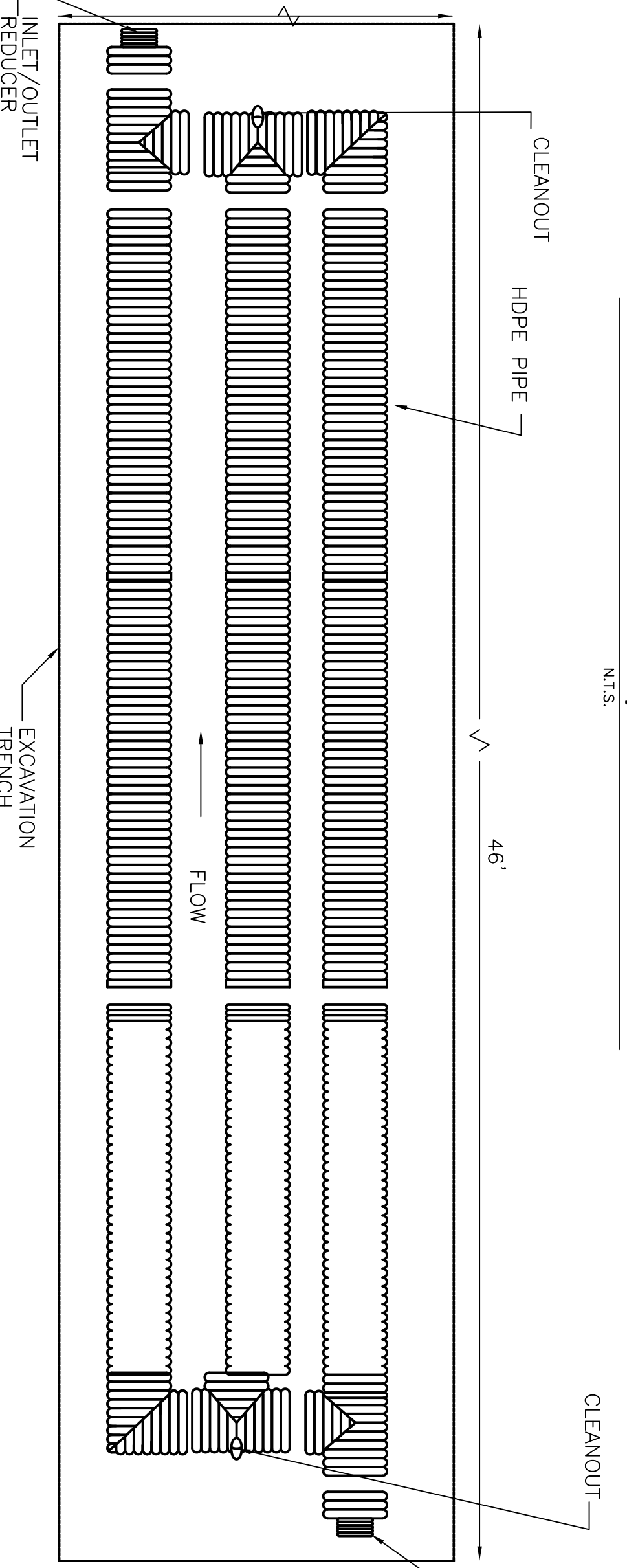
PRECAST STANDARD MANHOLE WITH SUMP DETAIL



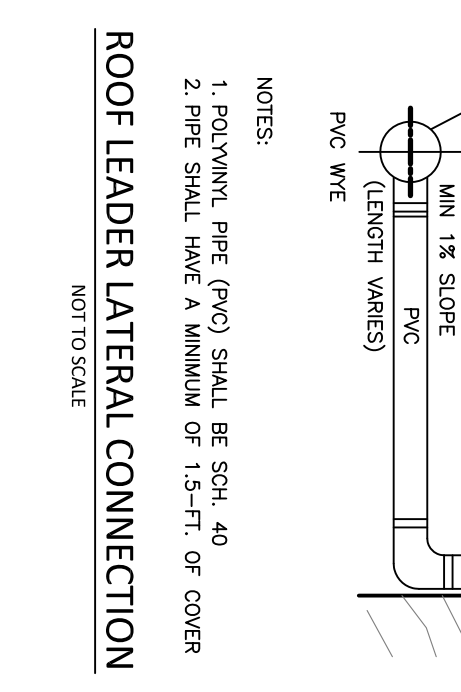
CONTROLLED OUTLET/INLET STRUCTURE



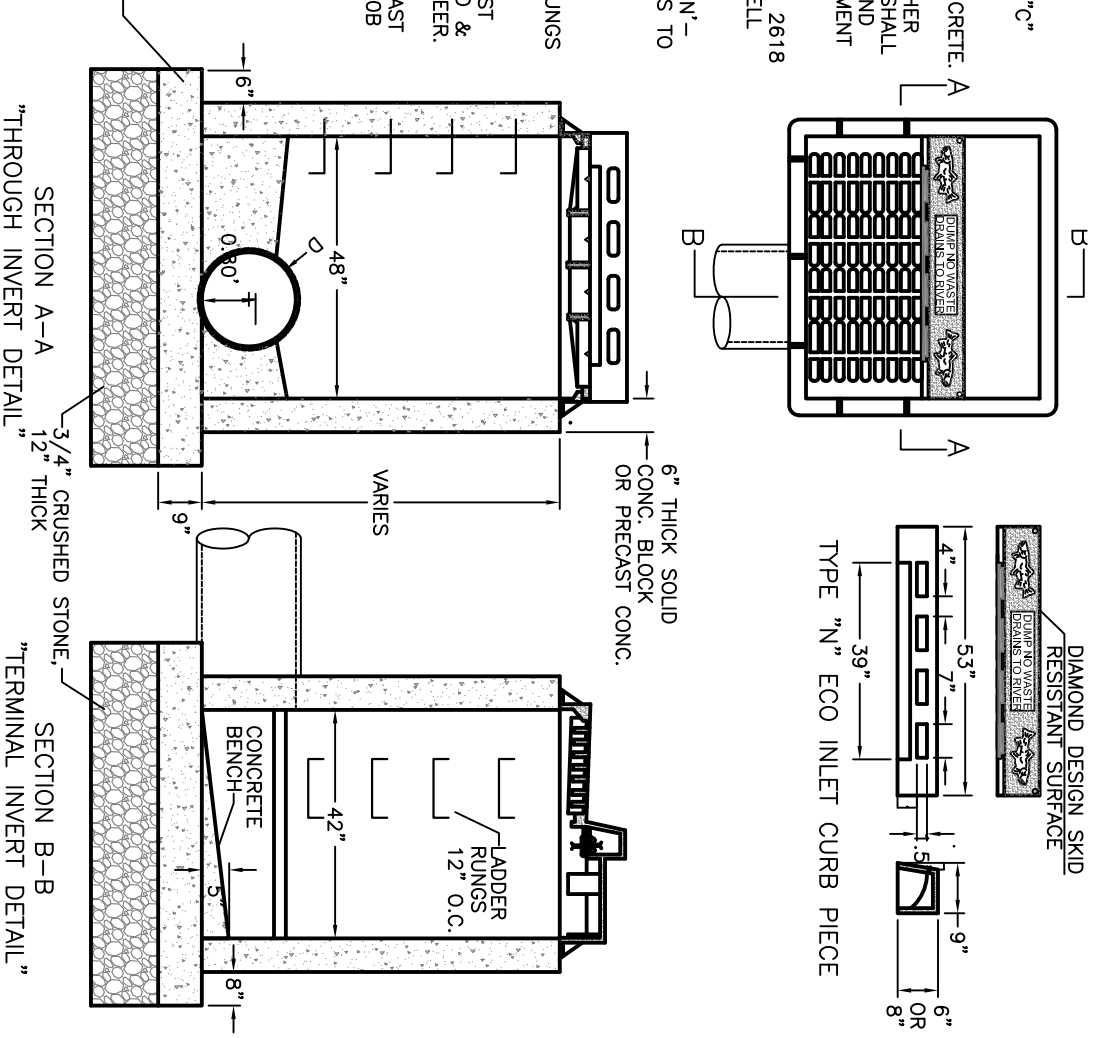
N12 PIPE CHAMBER BED DETAIL



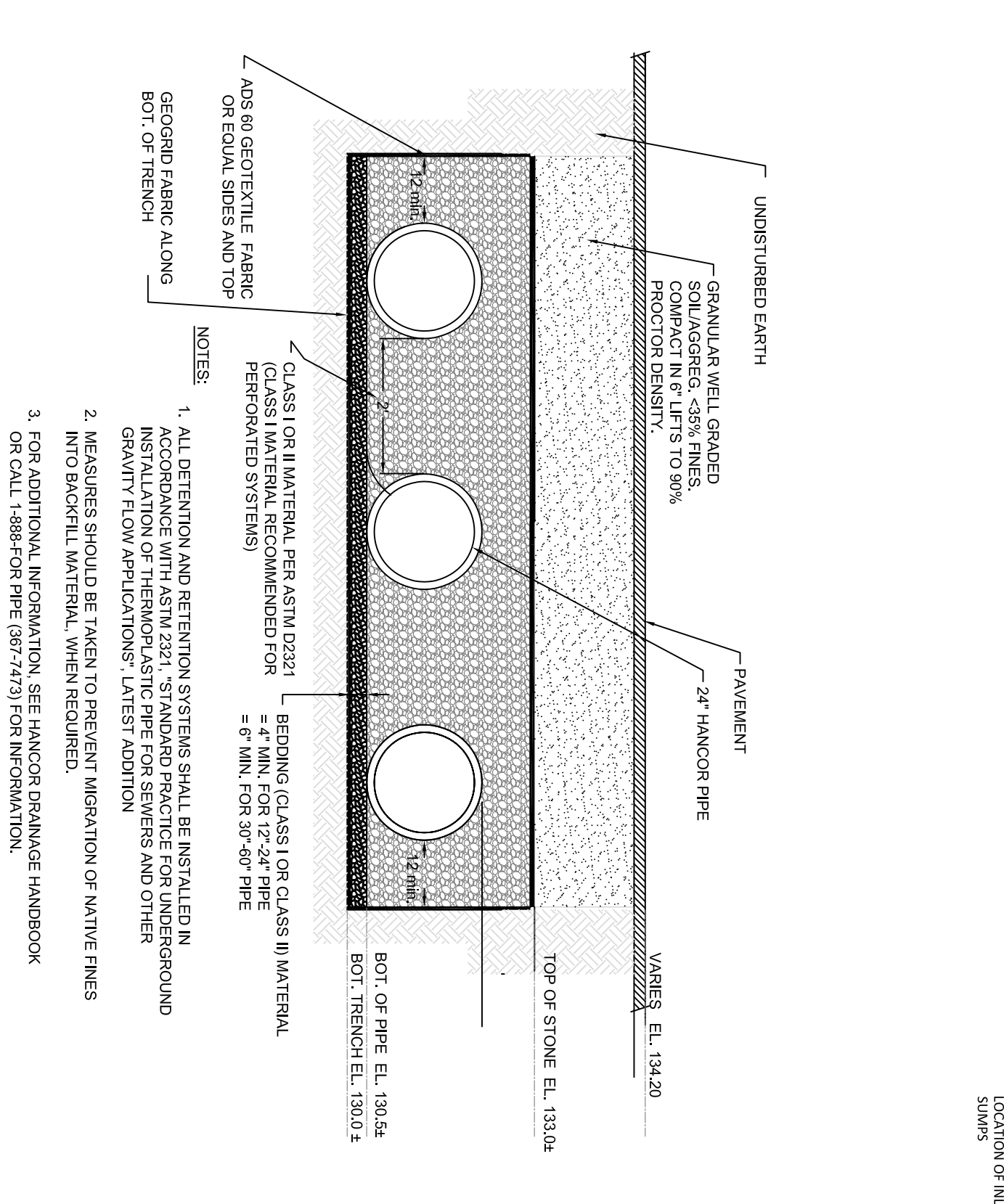
ROOF LEADER LATERAL CONNECTION



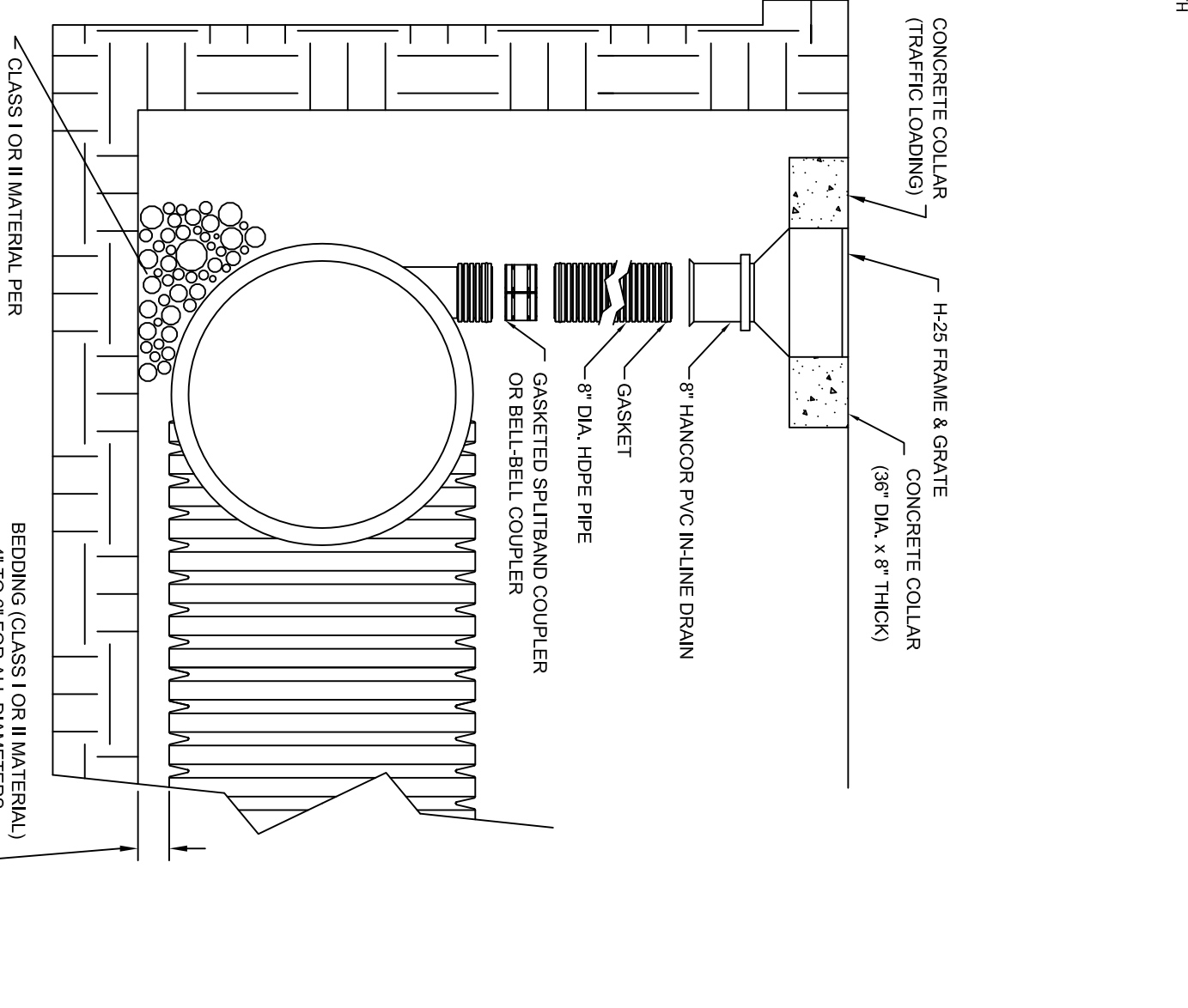
TYPE "B" INLET WITH "N" ECO CURB PIECE



TYPICAL SUBSURFACE DET./RET. CROSS SECTION



CLEANOUT DETAIL

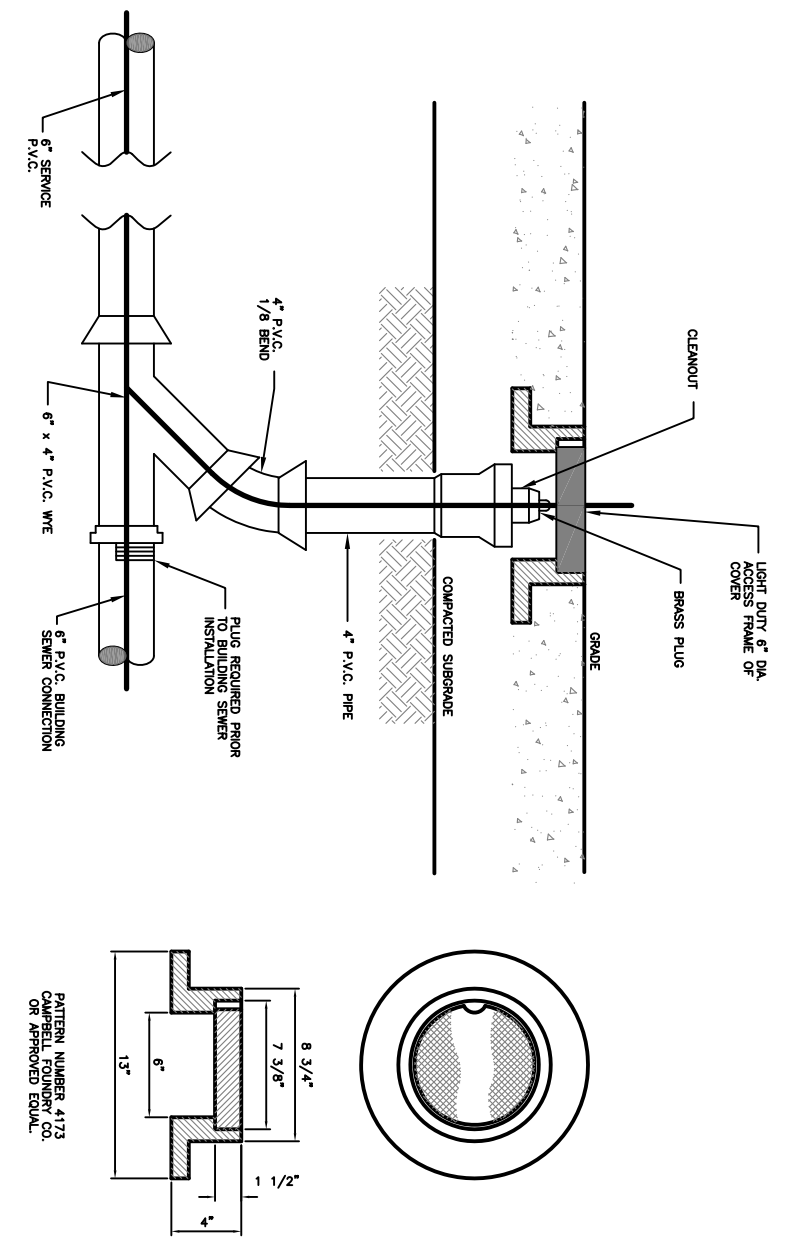


GENERAL NOTE:

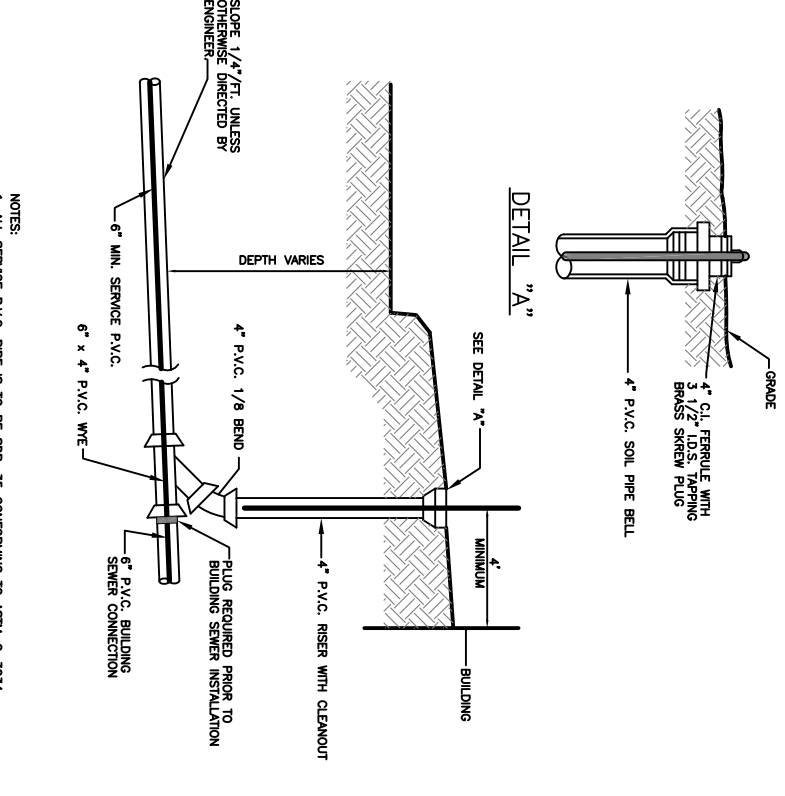
WATER AND SEWER SERVICES WILL BE SUBJECT TO THE APPLICABLE DISINFECTION AND PRESSURE TESTING REQUIREMENTS OF THE LOCAL AUTHORITIES.

SANITARY SEWER NOTES:

1. ALL SANITARY SEWER DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STANDARDS SET FORTH BY GOVERNING SEWERAGE AGENCY.
2. ALL SANITARY SEWER SHALL BE POLYVINYL CHLORIDE (PVC), SDR 35, ASTM D3034. JOINTS SHALL BE PUSH-ON TYPE CONFORMING TO ASTM F-4477. GASKETS SHALL CONFORM TO ASTM F-4477.

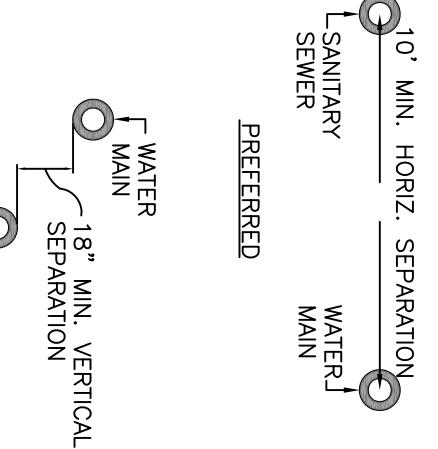


SANITARY SEWER CLEANOUT (IN PAVEMENT) DETAIL
N.T.S.



SANITARY SEWER CLEANOUT DETAIL
N.T.S.

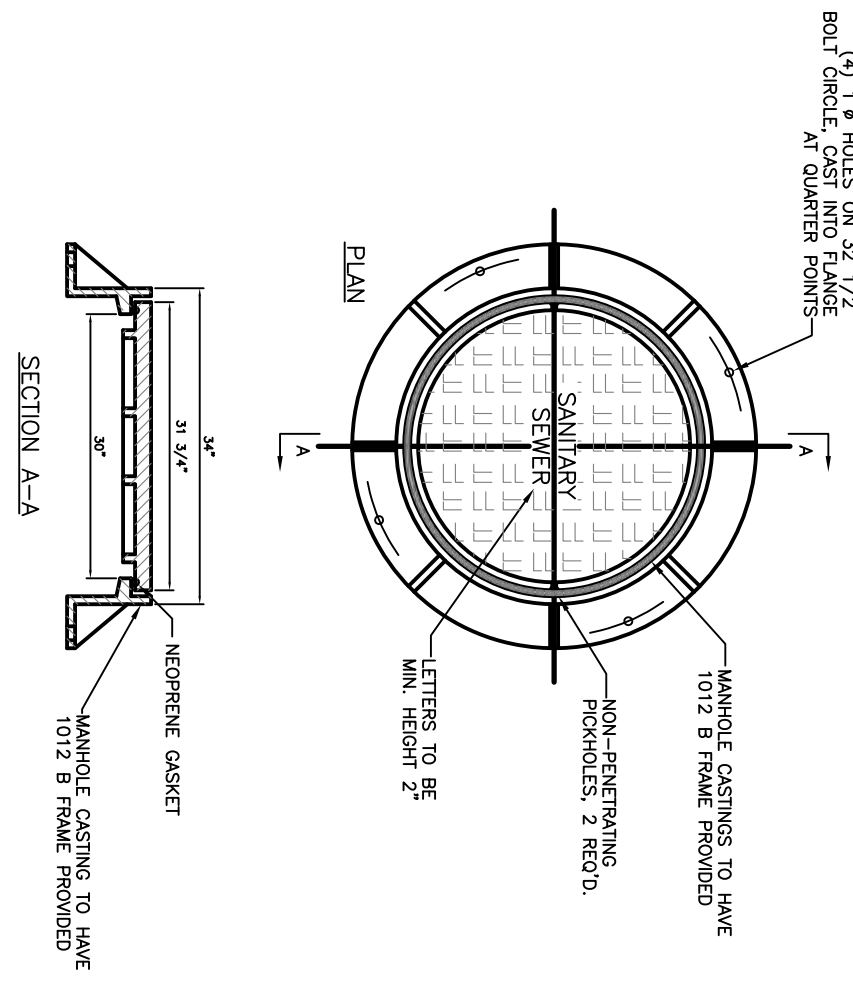
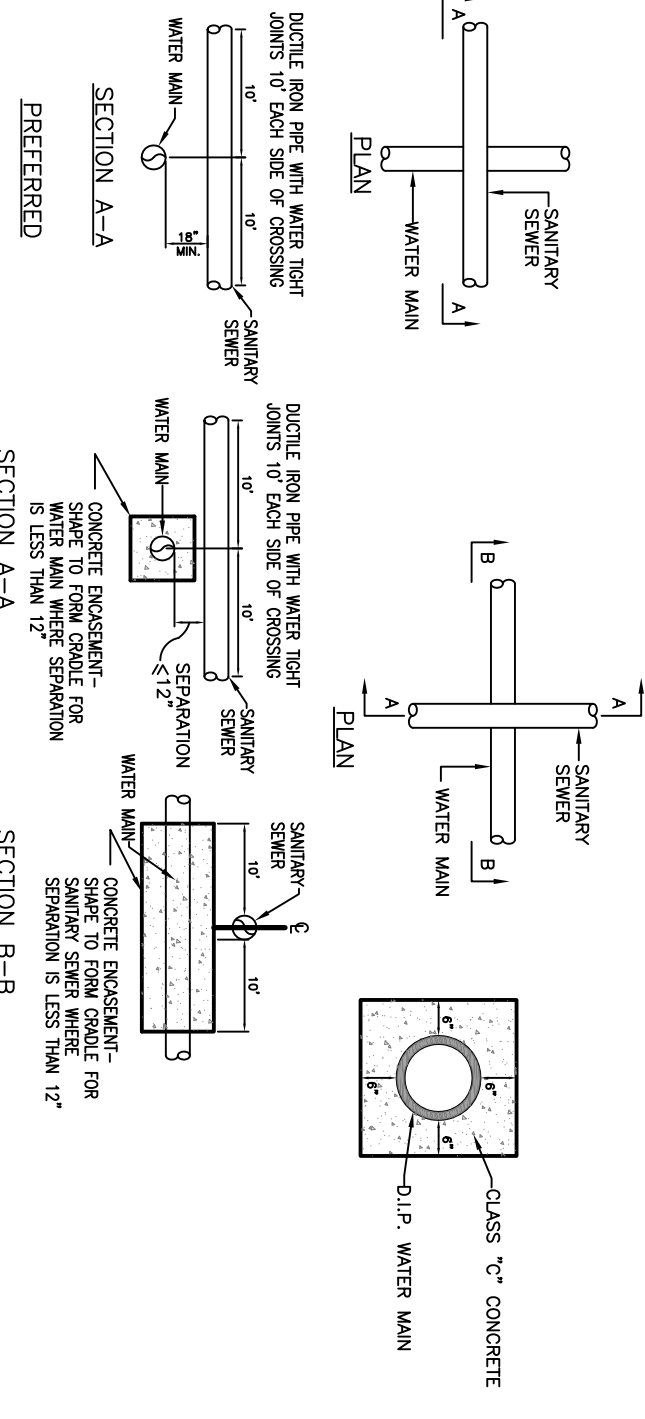
SANITARY LATERAL BEDDING DETAIL
N.T.S.



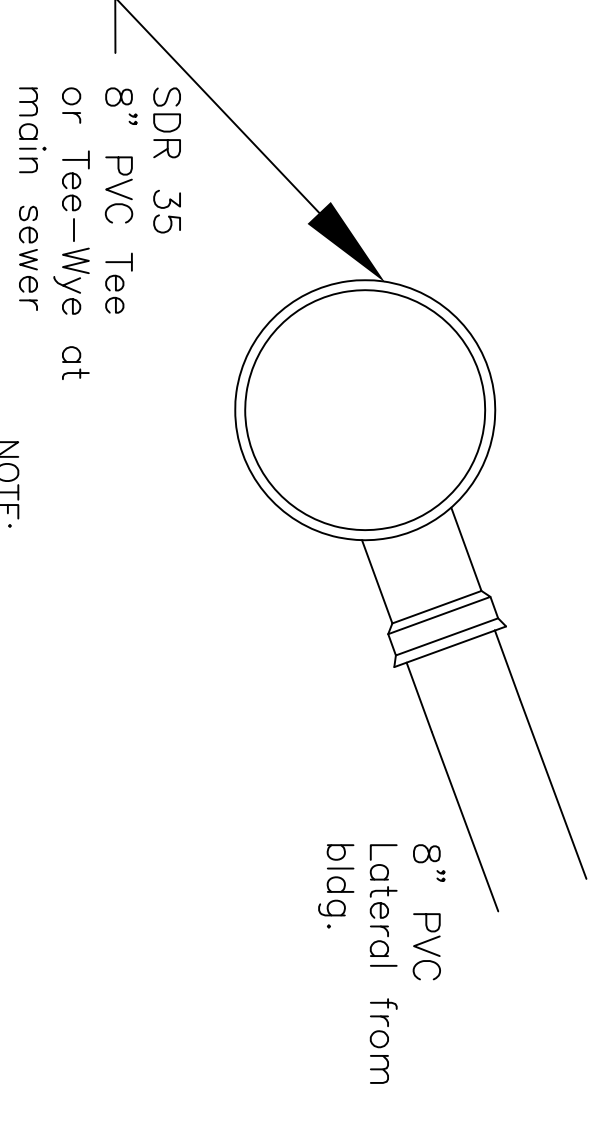
TO BE IMPLEMENTED WHERE SANITARY SEWER CLOSE TO WATER LINES

WATER MAIN PARALLEL TO SANITARY SEWER
N.T.S.

SANITARY OR STORM SEWER CROSSING
N.T.S.



CAST IRON MANHOLE FRAME & COVER DETAIL
N.T.S.



SEWER CONNECTION AT MAIN
N.T.S.

No.	Description	Date
1	Revised per Completeness Review comments	09/26/2019
3	Revise Bldg Footprint and Site Layout	05/28/2020

PROPOSED MULTIFAMILY/RETAIL DEVELOPMENT
1369 South Avenue, Block 624, Lot 12
Plainfield, New Jersey

SANITARY SEWER DETAILS

Project number	2019.15
Date	May 28, 2019
Drawn by	Carp
Checked by	MAB

Scale: **C6.3** As Noted